

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 1617	Street RONNE DR.	City SANTA ROSA	Zip 95404	Date of Inspection 7-17-2023	Number of Pages 5
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PAT'S AFFORDABLE
FUMIGATIONS AND INSPECTIONS

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(707) 577-8195 - FAX
patsfume@comcast.net
927 MENDOCINO AVE
SANTA ROSA, CA 95401

COMPANY REGISTRATION NO. PR 5074
COMPANY REPORT NO. 23-759

Ordered By: DOUG SWANSON SOTHEBY'S	Property Owner and/or Party of Interest: CILEO C/O SOTHEBY'S	Report Sent To: SAME
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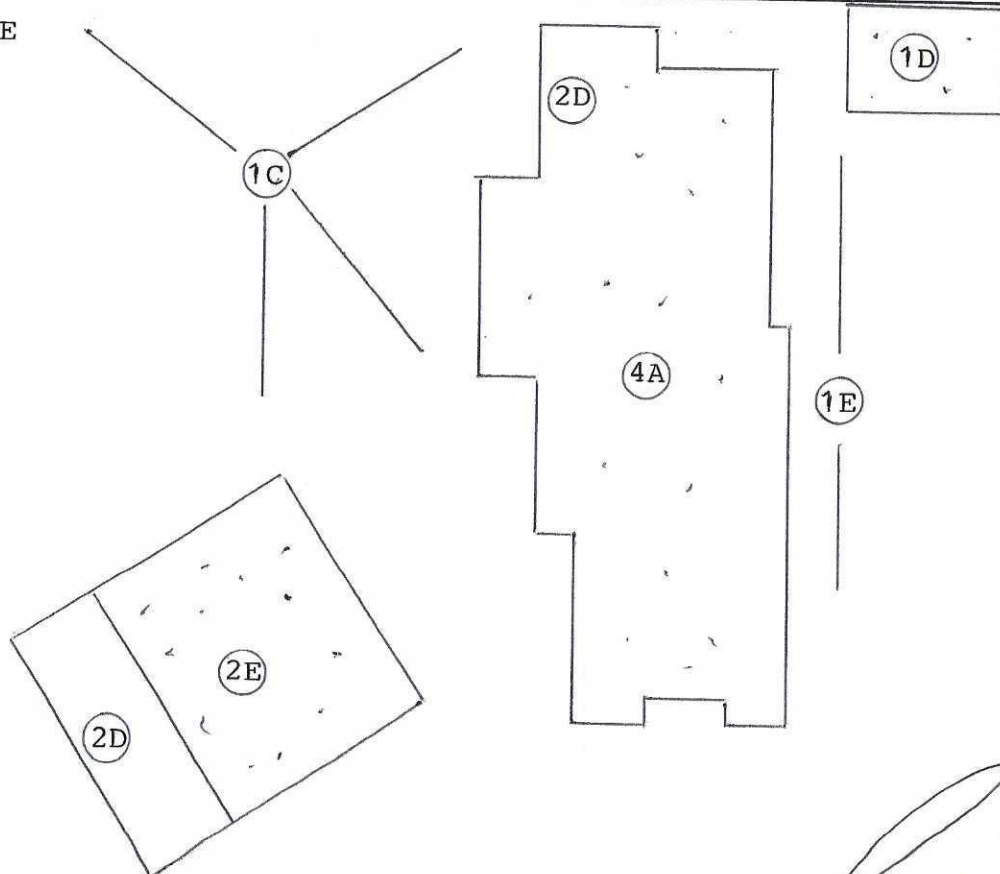
COMPLETE REPORT LIMITED REPORT SUPPLEMENTAL REPORT REINSPECTION REPORT

General Description: SINGLE FAMILY DWELLING WITH DETACHED BUILDINGS	Inspection Tag Posted: GARAGE
	Other Tags Posted: NONE NOTED

An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.

Subterranean Termites Drywood Termites Fungus / Dryrot Other Findings Further Inspections
If any of the boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for details on checked items.

NOT TO SCALE



Inspected by: PATRICK BERND State License No. OPR 9050 Signature

You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 2005 Evergreen Street, Ste 1500, Sacramento, CA 95815.

NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control Board at (916) 561-8750 or www.pestboard.ca.gov.

SECOND

PAGE OF STANDARD INSPECTION REPORT OF THE PROPERTY LOCATED AT:

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THE EXTERIOR SURFACE OF THE ROOF WAS NOT INSPECTED. IF YOU WANT THE WATER TIGHTNESS OF THE ROOF DETERMINED, YOU SHOULD CONTACT A ROOFING CONTRACTOR WHO IS LICENSED BY THE CONTRACTORS STATE LICENSE BOARD.

THE FOLLOWING AREAS ARE ECONOMICALLY IMPRACTICAL TO INSPECT FOR THE STANDARD INSPECTION FEE AND ARE NOT INCLUDED IN THIS REPORT UNLESS SPECIFICALLY INDICATED: THE INTERIOR OF FURNISHED ROOMS, FLOORS UNDER COVERING, THE INTERIOR OF HOLLOW WALLS, SPACES BETWEEN A FLOOR AND CEILING OR SOFFIT BELOW, STRUCTURAL SEGMENTS TO WHICH THERE IS NO ACCESS WITHOUT DEFACING OR TEARING OUT LUMBER, INSULATION, MASONRY OR FINISHED WORK, PAINTED SURFACES AND BUILT-IN CABINET WORK. IF FURTHER INSPECTION OF ANY AREAS IS DESIRED, IT WILL BE PERFORMED UPON AUTHORIZATION AT AN ADDITIONAL COST.

THIS COMPANY WILL REINSPECT REPAIRS DONE BY OTHERS WITHIN FOUR MONTHS OF THE ORIGINAL INSPECTION. A CHARGE, IF ANY, CAN BE NO GREATER THAN THE ORIGINAL INSPECTION FEE FOR EACH REINSPECTION. THE REINSPECTION MUST BE DONE WITHIN 10 WORKING DAYS OF REQUEST. THE REINSPECTION IS A VISUAL INSPECTION AND IF INSPECTION OF CONCEALED AREAS ARE DESIRED, INSPECTION OF WORK IN PROGRESS WILL BE NECESSARY. ANY GUARANTEES MUST BE RECEIVED FROM PARTIES PERFORMING REPAIRS.

NOTICE: REPORTS ON THIS STRUCTURE PREPARED BY VARIOUS REGISTERED COMPANIES SHOULD LIST THE SAME FINDINGS (I.E. TERMITE INFESTATION, TERMITE DAMAGE, FUNGUS DAMAGE, ETC.) HOWEVER, RECOMMENDATIONS TO CORRECT THESE FINDINGS MAY VARY FROM COMPANY TO COMPANY. YOU HAVE A RIGHT TO SEEK A SECOND OPINION FROM ANOTHER COMPANY.

NOTE: THE CHARGE FOR SERVICES THAT THIS COMPANY SUBCONTRACTS TO ANOTHER REGISTERED COMPANY MAY INCLUDE THIS COMPANY'S CHARGES FOR ARRANGING AND ADMINISTERING SUCH SERVICES THAT ARE IN ADDITION TO THE DIRECT COSTS ASSOCIATED WITH PAYING THE SUBCONTRACTOR. YOU MAY ACCEPT PAT'S AFFORDABLE FUMIGATIONS AND INSPECTIONS, INC. BID OR YOU MAY CONTRACT DIRECTLY WITH ANOTHER REGISTERED COMPANY LICENSED TO PERFORM THE WORK. IF YOU CHOSE TO CONTRACT DIRECTLY WITH ANOTHER REGISTERED COMPANY, THIS FIRM WILL NOT BE RESPONSIBLE FOR ANY ACT OR OMISSION IN THE PERFORMANCE OF WORK THAT YOU DIRECTLY CONTRACT WITH ANOTHER TO PERFORM.

THIS COMPANY IS IN BUSINESS TO PERFORM ACCURATE STRUCTURAL PEST CONTROL INSPECTIONS AND TO APPLY PESTICIDES IN A SAFE MANNER. WE DO NOT PERFORM MECHANICAL REPAIRS. HOWEVER, WHERE PRACTICAL, THIS COMPANY WILL SUGGEST PRICES FOR MECHANICAL REPAIRS AS MAY BE CHARGED BY A LOCAL TRADESMAN. **ULTIMATE COST TO BE DETERMINED BY PERSONS PERFORMING REPAIRS.**

THIS PROPERTY WAS NOT INSPECTED FOR THE PRESENCE OR ABSENCE OF HEALTH RELATED MOLDS OR FUNGI. BY CALIFORNIA LAW WE ARE NEITHER QUALIFIED, AUTHORIZED NOR LICENSED TO INSPECT FOR HEALTH RELATED MOLDS OR FUNGI. IF YOU DESIRE INFORMATION ABOUT THE PRESENCE OR ABSENCE OF HEALTH RELATED MOLDS, YOU SHOULD CONTACT AN INDUSTRIAL HYGIENIST.

THIRD

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AS PART OF NORMAL INSPECTION PRACTICES, THIS COMPANY DOES NOT GO ONTO THE ROOF COVERING AS DAMAGES MAY OCCUR TO THE ROOFING MATERIAL. THEREFORE, AREAS ABOVE THE ROOF LINE ARE INACCESSIBLE AND NOT INSPECTED. IF INTERESTED PARTIES WISH TO HAVE THESE AREAS INSPECTED, IT WOULD BE DONE UPON REQUEST AT AN ADDITIONAL COST, IF ACCESS AND A ROOF DAMAGE WAIVER ARE PROVIDED.

THIS IS A SEPARATED REPORT WHICH IS DEFINED AS SECTION 1/SECTION 2 CONDITIONS EVIDENT ON THE DATE OF THE INSPECTION. SECTION I CONTAINS ITEMS WHERE THERE IS EVIDENCE OF ACTIVE INFESTATION, INFECTIONS OR CONDITIONS THAT HAVE RESULTED IN OR FROM INFESTATION OR INFECTION. SECTION II ITEMS ARE CONDITIONS DEEMED LIKELY TO LEAD TO INFESTATIONS OR INFECTIONS, BUT WHERE NO VISIBLE EVIDENCE OF SUCH WAS FOUND. FURTHER INSPECTION ITEMS ARE DEFINED AS RECOMMENDATIONS TO INSPECT AREA(S) WHICH DURING THE ORIGINAL INSPECTION DID NOT ALLOW THE INSPECTOR ACCESS TO COMPLETE HIS INSPECTION AND CANNOT BE DEFINED AS SECTION I OR SECTION II.

EXTERIOR:

ITEM 1A:

MINOR VOIDS WERE NOTED TO THE EXTERIOR SIDING AND TRIM. THERE WAS SOME STUCCO EXTERIOR.

RECOMMENDATION:

KEEP THE EXTERIOR OF THE HOME IN A WELL SEALED AND WATER TIGHT CONDITION AS PART OF GOOD PROPERTY MAINTENANCE. **GENERAL INFORMATION.**

ITEM 1B:

THE EAVES WERE ENCLOSED WITH WOODEN SOFFITS. ENCLOSED FRAMING WAS INACCESSIBLE FOR INSPECTION.

RECOMMENDATION:

FURTHER INSPECTION OF ANY ENCLOSED AREAS, IF EXPOSED. **FURTHER INSPECTION.**

ITEM 1C:

THE DECK ASSEMBLIES AT 1C ON THE DIAGRAM WERE EXPOSED TO WEATHER. PORTIONS OF THE UNDERSIDE WERE INACCESSIBLE FOR INSPECTION DUE TO LACK OF CLEARANCE BETWEEN SOIL AND WOOD MEMBERS. THE DECKS APPEARED TO BE CONSTRUCTED ON PRESSURE TREATED LUMBER. THE DECKS APPEARED TO HAVE BEEN RE-SEALED RECENTLY. THERE WERE RETAINING WALLS BELOW THE DECK. THE RETAINING WALLS WERE NOT INSPECTED BY THIS COMPANY.

RECOMMENDATION:

IT IS IMPORTANT TO KEEP THE DECK ASSEMBLIES IN A WELL SEALED AND PRESERVED CONDITION AS PART OF GOOD PROPERTY MAINTENANCE. **GENERAL INFORMATION.**

NOTE: FURTHER INSPECTION OF ANY INACCESSIBLE AREAS, IF ACCESS IS PROVIDED. IF INTERESTED PARTIES HAVE QUESTIONS REGARDING CONSTRUCTION DETAILS, REFER TO APPROPRIATE TRADES FOR FURTHER INSPECTIONS AND EVALUATIONS.

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ITEM 1D:

THERE WAS A BASEMENT TYPE ROOM BELOW THE SECOND STORY PORTION OF THE BUILDING. IT WAS CONSTRUCTED OUT OF BRICK AND BELOW EXTERIOR GRADE LEVELS. NO OUTRIGHT DAMAGES WERE NOTED IN THE VISIBLE AND ACCESSIBLE AREAS.

RECOMMENDATION:

IF INTERESTED PARTIES HAVE QUESTIONS REGARDING BELOW GRADE CONSTRUCTION DETAILS, REFER TO APPROPRIATE TRADES FOR FURTHER INSPECTIONS AND EVALUATIONS. **GENERAL INFORMATION.**

ITEM 1E:

THERE APPEARED TO BE DRAINAGE AT THE REAR OF THE HOUSE AT 1E ON THE DIAGRAM. THERE WAS ALSO A RETAINING WALL IN THIS AREA THAT WAS NOT INSPECTED BY THIS COMPANY. IT WAS DETACHED FROM THE STRUCTURE.

RECOMMENDATION:

IF INTERESTED PARTIES HAVE QUESTIONS REGARDING RETAINING WALL AND/OR DRAINAGE, REFER TO APPROPRIATE TRADES FOR FURTHER INSPECTIONS AND EVALUATIONS. **GENERAL INFORMATION.**

INTERIOR:

ITEM 2A:

THIS INSPECTION IS OF AN OLDER, FURNISHED, AND OCCUPIED HOME. PORTIONS OF THE INTERIOR ARE INACCESSIBLE FOR INSPECTION DUE TO PERSONAL PROPERTY, FURNISHINGS, APPLIANCES, AND FLOOR COVERINGS. THE INTERIOR APPEARED TO HAVE BEEN REMODELED IN THE PAST. BECAUSE THE HOME IS OLDER, IT MAY HAVE SOME CONSTRUCTION DETAIL THAT IS NOT CONCURRENT WITH EXISTING BUILDING CODE.

RECOMMENDATION:

FURTHER INSPECTION OF THE INTERIOR, IF ALL PERSONAL PROPERTY, FURNISHINGS, APPLIANCES, AND FLOOR COVERINGS ARE REMOVED. **FURTHER INSPECTION.**

NOTE: IF INTERESTED PARTIES HAVE QUESTIONS REGARDING THE CONSTRUCTION DETAILS OF THIS BUILDING, WE RECOMMEND THAT A LICENSED CONTRACTOR BE ENGAGED FOR FURTHER INSPECTION AND EVALUATION.

ITEM 2B:

THIS HOME HAD METAL FRAMED WINDOWS. CONDENSATION CAN FORM ON METAL FRAMES DURING INCLEMENT WEATHER.

RECOMMENDATION:

KEEP AREAS AROUND WINDOWS IN A WELL SEALED AND WATER TIGHT CONDITION AS PART OF GOOD PROPERTY MAINTENANCE. IT IS ALSO IMPORTANT TO KEEP HOME IN A WELL VENTED CONDITION TO MINIMIZE CONDENSATION. **GENERAL INFORMATION.**

ITEM 2C:

MINOR STAINING WAS NOTED TO THE WOOD BACK SPLASH AT THE KITCHEN SINK AREA AT 2C ON THE DIAGRAM.

RECOMMENDATION:

THESE AREAS SHOULD BE KEPT IN A WELL SEALED AND PRESERVED CONDITION TO PREVENT ADVERSE CONDITIONS. **GENERAL INFORMATION.**

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ITEM 2D:

THERE WAS A ROOM CONSTRUCTED OFF THE GARAGE AT 2D ON THE DIAGRAM THAT HAD A PRESSURE TREATED PLYWOOD SUBFLOOR. THE UNDER-STRUCTURE APPEARED TO BE COMMERCIALY PRESSURE TREATED LUMBER.

RECOMMENDATION:

IF INTERESTED PARTIES HAVE QUESTIONS REGARDING ANY CONSTRUCTION DETAILS, REFER TO APPROPRIATE TRADES FOR FURTHER INSPECTIONS AND EVALUATIONS. **GENERAL INFORMATION.**

ITEM 2E:

IT APPEARED THE GARAGE WAS AN ENCLOSED CARPORT.

RECOMMENDATION:

IF INTERESTED PARTIES HAVE QUESTIONS REGARDING ANY CONSTRUCTION DETAILS, REFER TO APPROPRIATE TRADES FOR FURTHER INSPECTIONS AND EVALUATIONS. **GENERAL INFORMATION.**

ATTIC SPACE:

ITEM 3A:

THIS HOME DOES NOT HAVE AN ATTIC SPACE DUE TO FLAT ROOF CONSTRUCTION. THE CEILINGS WERE ENCLOSED. ENCLOSED FRAMING WAS INACCESSIBLE FOR INSPECTION. THIS COMPANY DID NOT INSPECT THE NEWER ROOF COVERING.

RECOMMENDATION:

IF FURTHER INFORMATION OR WARRANTIES ARE REQUIRED REGARDING THE CONDITION OR WATER TIGHTNESS OF THE ROOF COVERING, WE RECOMMEND THAT A LICENSED ROOFING CONTRACTOR BE ENGAGED FOR FURTHER INSPECTION AND EVALUATION. **FURTHER INSPECTION.**

SUBSTRUCTURE AREA:

ITEM 4A:

THIS HOME WAS CONSTRUCTED OVER CONCRETE SLAB FLOORS. THIS METHOD OF CONSTRUCTION LIMITS THE SCOPE OF INSPECTION TO AREAS ABOVE THE FLOOR LINE ONLY. ENCLOSED WALL FRAMING WAS INACCESSIBLE FOR INSPECTION.

RECOMMENDATION:

FURTHER INSPECTION OF ANY ENCLOSED WALL FRAMING, IF EXPOSED. **FURTHER INSPECTION.**

CERTIFICATION

THIS IS TO CERTIFY THAT THE ABOVE PROPERTY WAS INSPECTED ON 7-17-2023 IN ACCORDANCE WITH THE STRUCTURAL PEST CONTROL ACT AND RULES AND REGULATIONS ADOPTED PURSUANT THERETO, AND THAT NO EVIDENCE OF INFESTATION OR INFECTION WAS FOUND, IN THE VISIBLE AND ACCESSIBLE AREAS.

INSPECTION FEE: \$325.00 (PAID BY CILEO, WITH CHECK #2064)

THANK YOU FOR ALLOWING THIS FIRM TO BE OF SERVICE. IF THERE ARE ANY QUESTIONS REGARDING THIS INSPECTION REPORT, PLEASE CONTACT OUR OFFICE.