□ Inspection and written approval by the Fire Marshall shall be obtained prior to final of the building permit.

704A.1.2 Roof Coverings: Is space proposed between the roof covering and roof decking? XYes □No If yes, the spaces shall be constructed to prevent the intrusion of flames and embers, and be firestopped with approved materials. Or have one layer of No. 72 ASTM cap sheet installed over the combustible decking. Provide detail for method of compliance, incorporate into plans and provide reference to detail location: see notes details 4,6&7 on DI 704A.1.3 Roof Vallevs:

🗆 Assume shingle overlap proposed in valleys – please verify. 🗆 Yes 🕱 No **no valleys** Or if metal flashing will be incorporated in valleys, it shall be not less than 0.019-inch (0.48 mm)(No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch wide underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley. Provide detail and/or notation on section drawing(s) of plans and provide reference to detail/specification location:

□ Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. Indicate where specification has been incorporated into drawings: <u>gutter guard see</u> detail 4and 13 on sheet D1 704A.2 ATTIC VENTILATION

□ Define and detail how attic will be vented. 704A.2.2 Eave or Cornice Vents: Vents shall not be installed in eaves and cornices, unless they resist the intrusion of flame and burning If eave vents are proposed: ridge vent and on roof O'hagins, see sheet 3 for venting top RHS

☐ Provide manufacturer's specifications and detailing for non-vented system, including air and water permeability testing data.

□ Detail/indicate how proposed vents will resist the intrusion of flame & embers into attic area of the structure.

704A.2.3 Eave Protection □ Eaves meet SFM 12-7A-3 🕱 Yes □ No If yes, specify product Company Name, Product Description, Test Protocol and Flame Spread:

Hardie Soffit Listed in SFM Handbook? ★ Yes □ No (provide test data) OR, protect by ignition-resistant materials or noncombustible construction on the exposed underside. \square Yes \square No If ves. provide detail/specifications for material and installation. Provide reference to detail/specification location on drawings: see detail 7 on DI and I on sheet 3

704A.3 EXTERIOR WALLS (Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber or log wall construction or shall provide protection in accordance with standard SFM 12-7A-1.) Check all that apply. 704A.3.1 Exterior walls:

□ Noncombustible (Verify and document compliance with definition per CBC 202 – ASTM 136) □ Heavy Timber □ Log Wall Construction 🛚 Ignition –Resistant Material (per CBC 702A Definition)

If so, specify product Company Name, Product Description, Test Protocol and Flame Spread: . Listed in SFM Handbook? **X** Yes □ No (provide test data) 704A.3.1.1 Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2-inch nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure. Specify where notation has been detailed/noted on plans: elevation notes sheet 2

704A.3.2.1 Exterior Wall Vent openings (such as gable end attic vents or underfloor vents) shall resist the intrusion of flame and embers into the structure or vents shall be screened with a corrosion-resistant, noncombustible wire mesh with 1/4 -inch openings or

Specify where notation has been detailed/noted on plans: **no foundation space, slab on grade** 704A.3.2.2 Exterior glazing and window walls Windows, window walls, glazed doors and glazed openings within exterior doors shall conform with one of the following (Check all

 \mathbf{x} Insulating-glass units with a minimum of one tempered pane OR \square Glass block units OR see elevation notes sheet 2 Fire-resistance rating of not less than 20 minutes, when tested according to ASTM E 2010 OR Performance requirements of SFM 12-7A-2 If so, specify product Company Name, Product Description, Test Protocol and Flame Spread:

. Listed in SFM Handbook? ☐ Yes ☐ No (Provide test data)

Exterior door assemblies (including garage doors) shall comply with one of the following (check all that apply):

□ Performance requirements of standard SFM 12-7A-1 If so, specify product Company Name, Product Description, Test Protocol and Flame Spread: . Listed in SFM Handbook? □ Yes □ No (Provide report)

□ Approved noncombustible construction (document compliance with definition per CBC 202 – ASTM 136) x Solid core wood having stiles and rails not less than 1 3/8 inches thick with interior field panel thickness no less than 1 1/4inches thick see elevation notes sheet 2

☐ Fire-resistance rating of not less than 20 minutes when tested according to ASTM E 2074 Garage doors exempt from requirement if: see elevation notes sheet 2 Noncombustible

Exterior fire-retardant treated wood doors Indicate location on plans where garage door requirements have been specified:

704A.4 DECKING, FLOORS AND UNDERFLOOR PROTECTION (The use of paints, coatings, stains, or other surface treatments are not an approved method of protection as required in this chapter.) 704A.4.1 Decking Surfaces (Decking, surfaces, stair treads, risers, and landings of decks, porches and balconies where any portion of such surface is within 10 feet of the primary structure) Decking surfaces shall comply with one of the follow

Constructed of ignition-resistant materials and pass the performance requirements of SFM 12-7A-4, Parts A and B If so, specify product Company Name, Product Description, Test Protocol and Flame Spread: dex-o-tex weatherwear for WUI areas - ESR 1757 Listed in SFM Handbook?

Sex No (provide report)

Constructed with heavy timber, exterior fire-retardant-treated wood or approved noncombustible materials □ Document compliance with definition per CBC 202 – ASTM 136 □ Performance requirements of SFM 12-7A-4, Part A, 12-7A-4.7.5.1 only with a net peak heat release rate of 25kW/sq-ft for a 40 minute observation period and material shall pass accelerated weathering test & be identified as exterior type (ASTM E 84) and

Performance requirements of SFM 12-7A-4. Part A. 12-7A-4.7.5.1 only with a net peak heat release rate of 25 kW/sq-ft for a 40 minute observation period and material shall pass accelerated weathering test and be identified as exterior type (ASTM # 84) and decking surface conforms to ASTM E-84 Class B flame spread (Provide test data)

exterior wall covering where deck is attached and within 10 feet of the deck shall be constructed of approved noncombustible or

ADDITIONAL WUI NOTES

Open Roof Eaves. The exposed roof deck on the underside of unenclosed roof eaves shall be protected by ignition-resistant or noncombustible material, consist of 5/8" Type X gypsum sheathing applied behind an exterior covering on the underside of the roof deck, or the exterior portion of a 1hour assembly on the exposed underside. Hardie soffit or similar. The following materials do not require protection:

1. Solid wood rafter tails having a minimum nominal dimension of 2 inch. 2. Solid wood blocking between rafter tails having a minimum nominal dimension of 2 inch. 3. Gable end overhangs and roof assembly projections beyond an exterior wall other than at the lower end of the rafter tails. 4 Fascia and other architectural trim boards

Enclosed roof eaves and roof eave soffits. The exposed underside of enclosed roof eaves having either a boxed-in roof eave soffit with a horizontal underside, or sloping rafter tails with an exterior covering applied to the underside of the rafter tails, shall be protected by ignition-resistant or noncombustible material, consist of 5/8" Type X gypsum sheathing applied behind an exterior covering on the underside of the rafter tails or soffit, the exterior portion of a 1-hour assembly applied to the underside of the rafter tails or soffit, or meet the performance requirements set forth in SFM Standard 12-7A-3. Hardie soffit or similar.

Exterior porch ceilings. The exposed underside of exterior porch ceilings shall be protected by

ignition-resistant or noncombustible material, consist of 5/8" Type X gypsum sheathing applied on the underside of the ceiling, the exterior portion of a 1-hour assembly applied to the underside of the ceiling, Hardie soffit or similar., or meet the performance requirements set forth in SFM Standard 12-7A-3. Exterior wall and opening protection. Exterior walls shall be approved noncombustible or ignitionresistant material, heavy timber, log wall construction, meet SFM Standard 12-7A-1, include one layer of 5/8" Type X gypsum sheathing applied behind the exterior covering on the exterior of the framing, or the exterior portion of a 1-hour assembly. Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2" nominal solid wood blocking between rafters at all roof overhangs or eave enclosures

Exterior wall vent openings shall be protected by corrosion-resistant, noncombustible wire mesh with openings of 1/8" to 1/4". Exterior glazing and glazed openings in exterior doors shall have a minimum of one tempered pane, or have a fire resistive rating of 20 minutes, or be of glass block. Exterior doors shall be of approved noncombustible construction, or solid core wood having stiles and rails not less than 13/8" thick with interior field panel thickness not less than $1\frac{1}{4}$ " thick, or have

Vegetation Clearance

a minimum 20 minute fire resistive rating.

Remove and clear away all flammable vegetation or combustible growth for 30' from each side of building.

Remove any tree limbs within 10 feet of chimney outlet. Eliminate any dead wood from trees overhanging building. Maintain the roof to be free

of leaves, needles or dead vegetation. Inspection and written approval by the Fire Marshall shall be obtained prior to final of the building permit.

Soil Protection. Soil disturbance and erosion are minimized by the following:

Natural drainage patterns have been evaluated and erosion control will be implimented during construction. Post construction existing drainage patterns are to be reinstated. 2. Cut and fill areas are to be limited to foundations only

Underground construction activities are coordinated to utilize the same trench, minimize the amount of time the disturbed soil is exposed and the soil is replaced using accepted

compaction methods. Displaced topsoil is stockpiled for reuse in designated area and covered or protected from

Cal Green Notes For Residenial New Construction 2019

4.106.2 A plan is developed and implemented to manage storm water during construction in accordance with requirements prescribed in Sonoma County Code Chapter 11A. See G&D notes

4.106.3 Construction plans indicate how site grading and drainage will manage surface water to stop it entering building. See G&D notes sheet 0 4.106.4 EV charging outlet in garage. No garage, car port.

4.201.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards. See T24 Documents 4.303.1-3 Water conserving plumbing fixtures and fittings. Plumbing Notes fixtures see flow notes

4.406.1 Rodent proofing. Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing

4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner. 4.503.1 Any installed gas fireplace shall be a direct-vent or sealed-combustion type. Any

wood stove or wood heating appliance shall comply with U.S. No gas Fireplaces 4.504.1Duct openings and other related air distribution component openings shall be covered during construction.

4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound 4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits

4.504.2.3 Aerosol paints and other coatings shall be compliant with product weighted MIR Limits for ROC and other toxic compounds 4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have

4.504.3 Carpet and carpet systems shall be compliant with VOC limits. 4.504.4 Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the requirements of this section.

4.504.5 Particle board, medium density fiberboard (MDF), and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. 4.505.2 Vapor retarder and capillary break is installed at slab on grade foundations. see detail 2

4.505.3 Moisture content of building materials used in wall and floor framing is checked before

4.506.1 Humidity controlled ENERGY STAR compliant exhaust fans which terminate outside the building are provided in every bathroom unless otherwise a component of a whole house ventilation system

Duct systems are sized and designed...No ductwork, 702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems. 702.2 The CALGreen Special Inspector for this project is listed by the County of Sonoma as an approved CALGreen Special Inspector and is qualified and able to demonstrate

competence in the discipline they inspect and verify

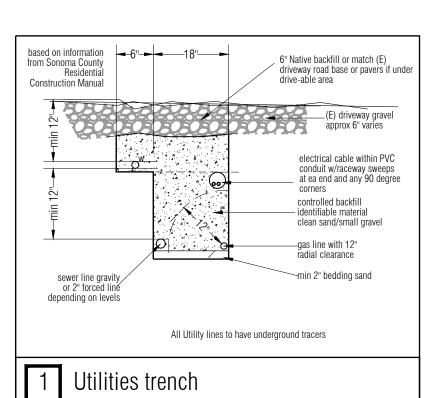
Vegetation Management Notes Vegetation adjacent to buildings (30ft) to be managed so that there is no continuity between ground

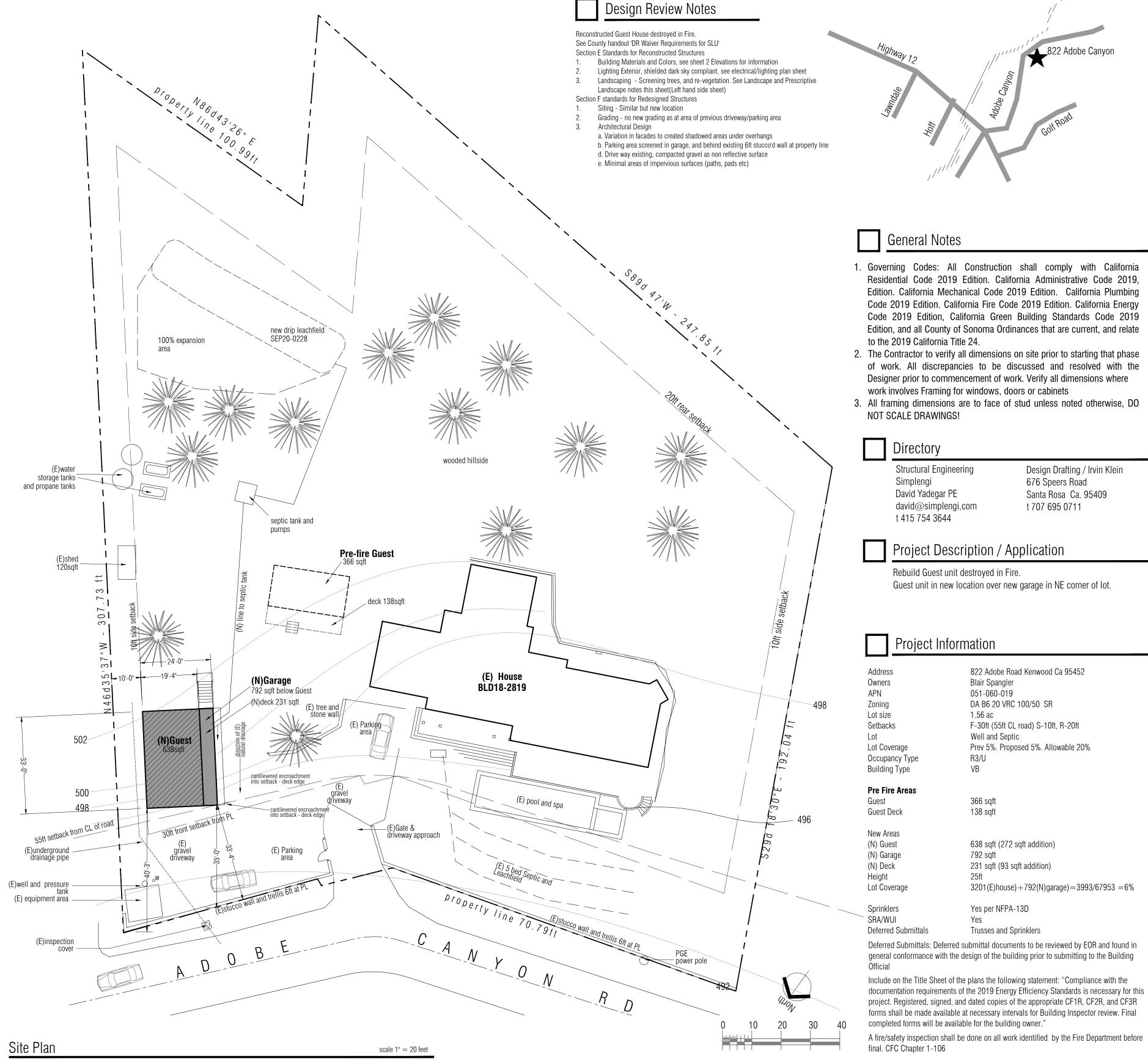
A. Tree crowns to be separated by at least 10 feet. Raise all tree crowns to at least 10 feet above ground, thin out crowns by 25% to reduce available fuels. Remove all dead branches, large areas of dead foilage, vines and loose bark. Remove all debris.

B. When thinning brush areas, first remove dead, sick or stressed shrubs, then highly flammable shrubs, ie shrubs that are twiggy, have small woody leaves, or contain volitile oils (aromatic). Shrub cover should not exceed 30% of defensible area. Maximum dead to live ratio is 20%-80%. Limbing of shrubs no greater than 1#3 of height. Remove all vines and papery bark, and other suspended debris, remove or mow undergrowth to 3"h, and remove

C. Chipped wood and mulch can provide an excellent thermal barrier which will prevent lost moisture in ground fuels. Shredded or 'hairy' bark is prohibited

Recovering existing landscaping. Signs that existing landscape and trees are recovering after fire. Wait till summer to see what is fully recovering before replacing existing landscaping. reinstate (E) irrigation where destroyed





Grading & Drainage Notes

Construction site is on an existing lot that burned in the Fire. The new guest is above a new garage that is in a different position to the guest building that burned. the new location is on a slight slope and the new building follows the existing drainage patterns. The existing drainage patterns are to be maintained. An existing driveway is already graded to the new garage as it was previously a parking area. No new cut and fill areas. Where existing vegetation is removed during construction and not being replaced with permanent landscaping, area to be seeded with an industry standard erosion control seed mix at the rate of 50lbs per acre. erosion matting, straw or hydro-mulching shall be used to stabilize seed.

1. Surface drainage gradients: slope finished grading away from (N) Addition 5% for 10ft at grade/earth, and 2% for 10ft impervious surfaces. Follow (E) general site drainage which is away from building on all sides 2. Roof gutter drop collectors if used, to have gutter guard and to be piped to discharge into landscape areas min 5 feet from building. Concentrated flow's energy to be dissipated by rocks

3. Earth disturbed at construction to be collected and covered during construction for reuse afterwards as near as possible to where it was collected. 2. The Owner or Contractor shall ensure that any soil, sediment, debris or other pollutants disturbed by the new construction shall not enter any existing storm water or drainage system Measures as required, to include broadcasting straw on disturbed areas, and placing weighted straw wattles along existing contours. All construction waste, excess soil, and water to be contained and discharged at an appropriate approved County Facility.

Sheet Index

Covers sheet, Site Plan, and Project Information Layout and MEP Plans

Elevations

Structural Engineering

david@simplengi,com

Rebuild Guest unit destroyed in Fire.

Guest unit in new location over new garage in NE corner of lot.

Blair Spangler

051-060-019

Well and Septic

1.56 ac

366 sqft

138 sqft

792 sqft

DA B6 20 VRC 100/50 SR

638 sqft (272 sqft addition)

231 sqft (93 sqft addition)

Yes per NFPA-13D

Trusses and Sprinklers

822 Adobe Road Kenwood Ca 95452

F-30ft (55ft CL road) S-10ft, R-20ft

Prev 5%. Proposed 5%. Allowable 20%

David Yadegar PE

t 415 754 3644

Simplengi

Design Drafting / Irvin Klein

676 Speers Road

t 707 695 0711

Santa Rosa Ca. 95409

Foundation and Framing Plan2

Details T24 sheets

0 🗠

3201(E)house) +792(N)garage) =3993/67953=6%Deferred Submittals: Deferred submittal documents to be reviewed by EOR and found in ._ *\pi* general conformance with the design of the building prior to submitting to the Building

SE 9+ > 0

All outside receptacles and outlets shall have weather resistant covers 4. All branch circuits that supply 125-volt single phase 15 and 20 ampere receptacles outlets installed in dwelling unit shall be protected by an arc-fault circuit interrupter, and have tamper resistant

5. Bathroom Receptacle Outlets shall be supplied by at least on 20-ampere branch circuit. Such circuits shall have no other outlets. All bathroom receptacles shall be GCFI protected and adjacent to sinks 6. Bathrooms, garages, laundry and utility rooms shall have at least one luminaries controlled by a

vacancy 'occupant' sensor, and dimmers and vacancy 'occupant' sensors shall control all luminaires required to have light sources compliant with Reference Joint Appendix JA8 [§150.0(k)(2)(K)CEnC]. 7. 'f' or 'he' by lighting fixture indicates fluorescent. Switches to High Efficiency lighting fixtures need not

8. Recessed can type fixtures to be mounted into insulated ceilings are required to be rated for insulation contact (IC-rated), so that insulation can be placed over them. The housing of the fixture shall be air-tight to prevent ingress of unconditioned air, or escape of conditioned air into the attic or joist

9. Outdoor lighting: all outdoor light fixtures either mounted to the building or to other buildings on the same lot, shall be high efficacy type, or shall be controlled by a photocontrol/motion sensor control.Lighting, Exterior lighting shall be downward facing, fully shielded, Dark Sky Compliant, and located at the lowest possible point to the ground to prevent glare, light pollution, and unnecessary

glow in the rural night sky. Fully shielded lights have shades or covers that screen the bulb from view while casting light to the ground or building surface. 10. Outdoor light fixtures shall not be located at the periphery of the property, shall not wash out structures or any portions of the project site, and shall not spill over onto adjacent properties or into the night sky.Exterior luminaires shall have a maximum output of 1000 lumens per fixture.Total illuminance

beyond the property line created by simultaneous operation of all exterior lighting shall not exceed 1.0 11. All roadway, parking, and driveway lights shall be low profile utilizing full cut-off fixtures. Flood lights

are prohibited, if security lighting is necessary, it shall be motion-sensor. 12. Owner to advise which receptacles to have integral USB sockets.

13. All Lighting to be high efficiency type per per table 150.0-A[§150.0(k)(1)(A)CEnC]. 14. Luminaries located above a bathtub or shower shall be listed suitable for wet locations.

15. Provide a raceway circuit to facilitate future installation of electric vehicle charging per section 4.106.4.1 of the 2016 California Green Building Standards Code.

16. New or modified branch circuits required arc fault protection [(CEC 210.12(A))] 17. All new and modified receptacles in converted garage and new permitted family room shall all be non-locking type 125volt,15 ampere and 20 ampere receptacles, and shall be listed tamper resistant receptacles [CEC406.12(A)]

PLUMBING NOTES

1. Replacement or new Shower Flow. Shower heads shall be designed and manufactured so that the water supply flow shall not exceed gallons per minute 1.8 gpm @80psi Consider Neba type aeriation

2. Showers and shower tubs shall be provided with individual control valvsof the pressure balance. thermostatic, or combination pressure ballance/thermostatic mixing valve type that provides scald and thermal shock protection. 3.Replacement or new Water Closet Flush. WC's either flush tank, flush-o-meter tank, or flush-meter valve

shall have av. consumption not more than 1.28 gal per flush CPC 2016 403.2.1 (1)&(2) 4. Replacement or new Lavatory faucets flow shall be designed and manufactured so that the flow does not exceed 1.2 gal per minute @60psi and not less than 0.8gpm@20psi CPC 2016 403.7 5. Replacement or new Kitchen sink faucet shall have a maximum flow rate not greater than 1.8 gals per minute at 60 psi. CPC 2016 403.6 (Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow

rate of 1.8 gallons per minute at 60 psi. Note: Where existing faucets meeting the maximum flow rate of 1.8 gpm are unavailable, aerators or other means may be used to achieve reduction. 6. Hose Bibs. All Hose Bibs shall be provided with non removable anti siphon backflow device or

atmospheric vacuum breaker per CPC sec 603.4.7 7.Discuss w/client the options for constantly recycled hot water loop, to prevent cold dead leg and water wastage at faucets remote from water heater

8.Expansion Control: Any water system provided w/ a check valve back flow preventer or pressure regulating device which does not have a bypass feature at its source shall be provided with an approved, listed and adequately sized pressure relief valve or a means to control expansion CPC 608.3 9. Water Hammer. provide pressure absorbing device either air chamber or other mechanical device to prevent water hammering at quick acting valves such as but not limited to dishwasher and washing machine.CPC sec 609.10

10. ABS or PVC installations are limited to residential construction not more than 2 stories in ht. 11. Hot water pipes in general shall be insulated where they are not covered by wall/ceiling insulation in

MECHANICAL NOTES • Heating system sue split electric heat pumps located in lowered ceiling space above bathrooms. Casettes located in attic and blow thru wall - no ducts

Water heater (N) gas propane on demand dir vent unit mounted on outside of building BATHROOM VENTING & GLAZING The glazed areas shall not be required where artificial light and a mechanical ventilation system are provided. The minimum ventilation rates shall be 50 cubic feet per minute (24 Lis) for intermittent ventilation or 25 cubic feet per II minute (12 lis) for continuous ventilation. Ventilation air from the space shall be exhausted directly to the outside, minimum 10 feet from any opening that could allow exhaust air to re-enter building

shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor. Moisture Resistant Sheetrock, (Greenboard) shall be used in all Bath and

accordance with UL 217. Combination smoke and carbon monoxide alarms shall be listedin accordance with within a sleeping unit in Group R occupancies, the alarms shall be interconnected in a manner that activation of one alarm UL 217 and UL 2034. Systems and components shall be California State Fire Marshal listed and approved in shall activate all of the alarms in the individual unit. accordance with California Code of Regulations, Title 19, Division 1for the purpose for which they are installed.

R314.3 Location. Smoke alarms shall be installed in the following locations:

In each sleeping roor

Outside each separate sleeping area in the immediate vicinity of the bedrooms. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

4. Smoke alarms shall be installed not less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower. Smoke alarms or smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed

R314.4 Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling or sleeping unit, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all

intervening doors closed. R314.5 Combination alarms. Combination smoke and carbon monoxide alarms shall be permitted to be used in lieu of smoke alarms. Systems and components shall be California State Fire Marshal listed and approved in accordance with California Code of Regulations, Title 19, Division 1 for the purpose for which they are installed.

R314.6 Power source. Smoke alarms shall receive their primary power from the building wiring provided that such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms with integral strobes that are not equipped with battery backup shall be connected to an emergency electrical system. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be

R315.Carbon monoxide alarms R315.1.1 Listings.Carbon monoxide alarms shall be listed in accordance with UL 2034. Combination carbon monoxide and smoke alarms shall be listed in accordancewith UL 2034 and UL 217. No person shall install, market, distribute, offer forsale, or sell any carbon monoxide device in the State of California unless the device and instructions have been approved and listed by the Office of the State Fire Marshal.

R315.2.1 Existing buildings and new construction. For existing buildings and new construction, carbon monoxide alarms shall be provided in dwelling units where either or both of the following conditions exist.

The dwelling unit contains a fuel-fired appliance or fireplace. The dwelling unit has an attached garage with an opening that communicates with the dwelling unit. R315.3 Location Carbon monoxide alarms in dwelling units shall be installed and maintained in accordance with the

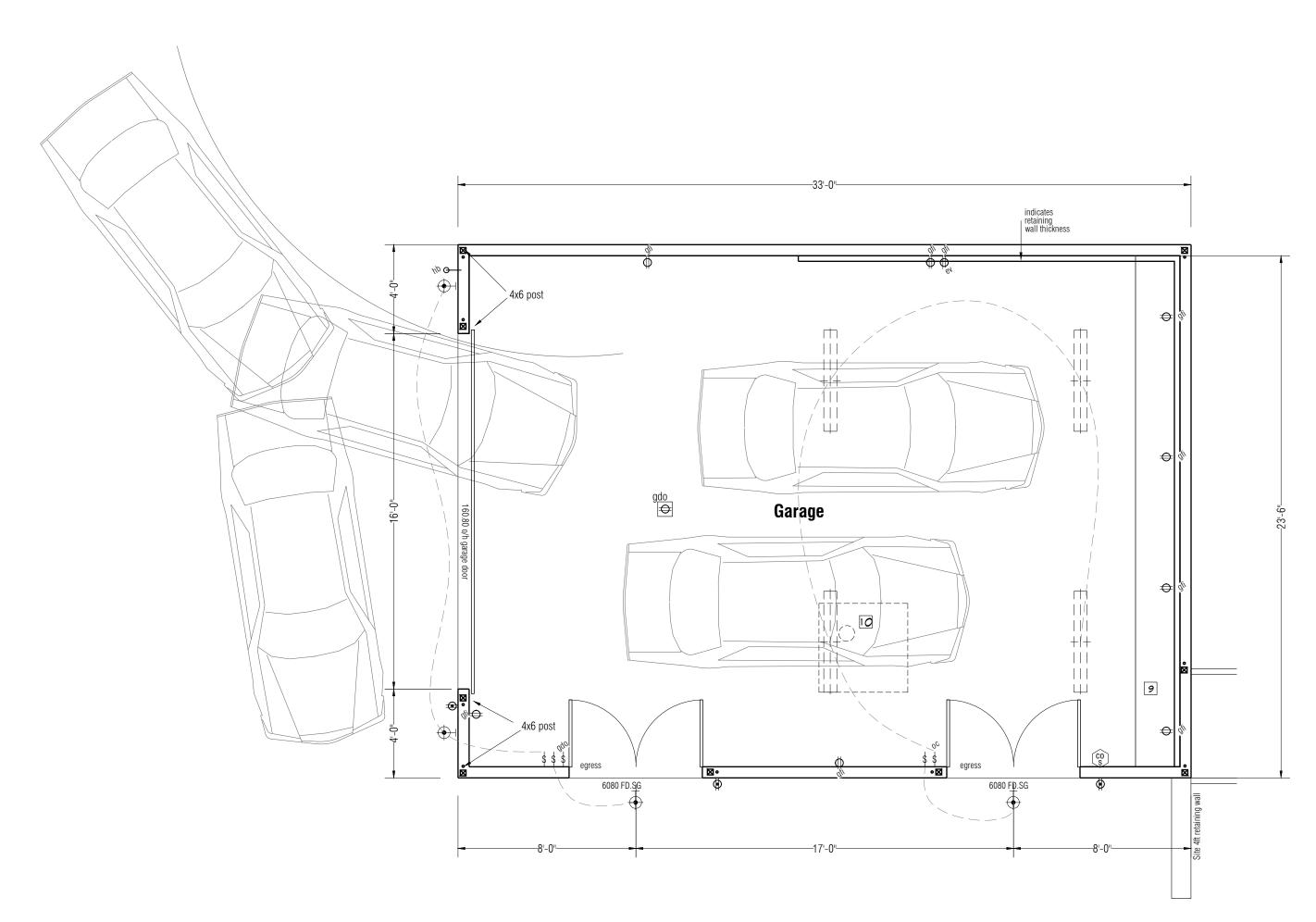
manufacturer's published instructions in the following locations: 1. Outside of each separate sleeping area in the immediate vicinity of the bedrooms. On every occupiable level of a dwelling unit, including basements.

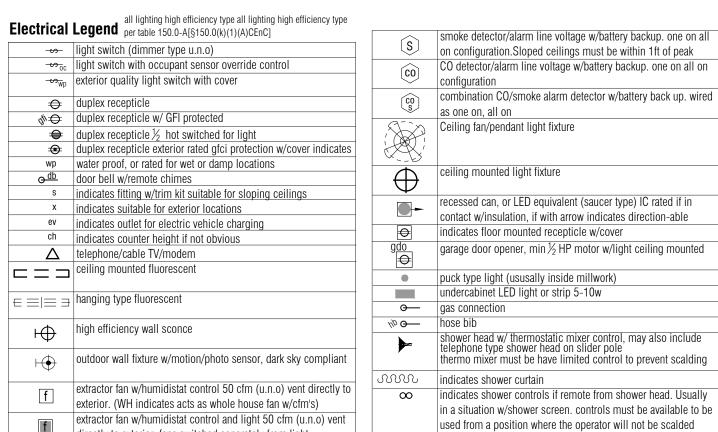
permanent and without a disconnecting switch other than as required for overcurrent protection

3. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. R315.4 Combination alarms. Combination carbon monoxide and smoke alarms shall be permitted to be used in lieu of carbon

monoxide alarms. Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments

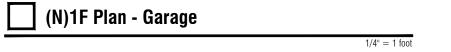
Combination carbon monoxide/smoke alarms shallcomply with Section R315 and all requirements for listing and approval by the Office of the State Fire Marshal for smoke alarms. R315.5 Power source. Carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection. R314.1 General. Smoke alarms shall comply with NFPA 72 and Section R314.Smoke alarms shall be listed in R315.7 Interconnection. Where more than one carbon monoxide alarm is required to be installed within a dwelling unit or

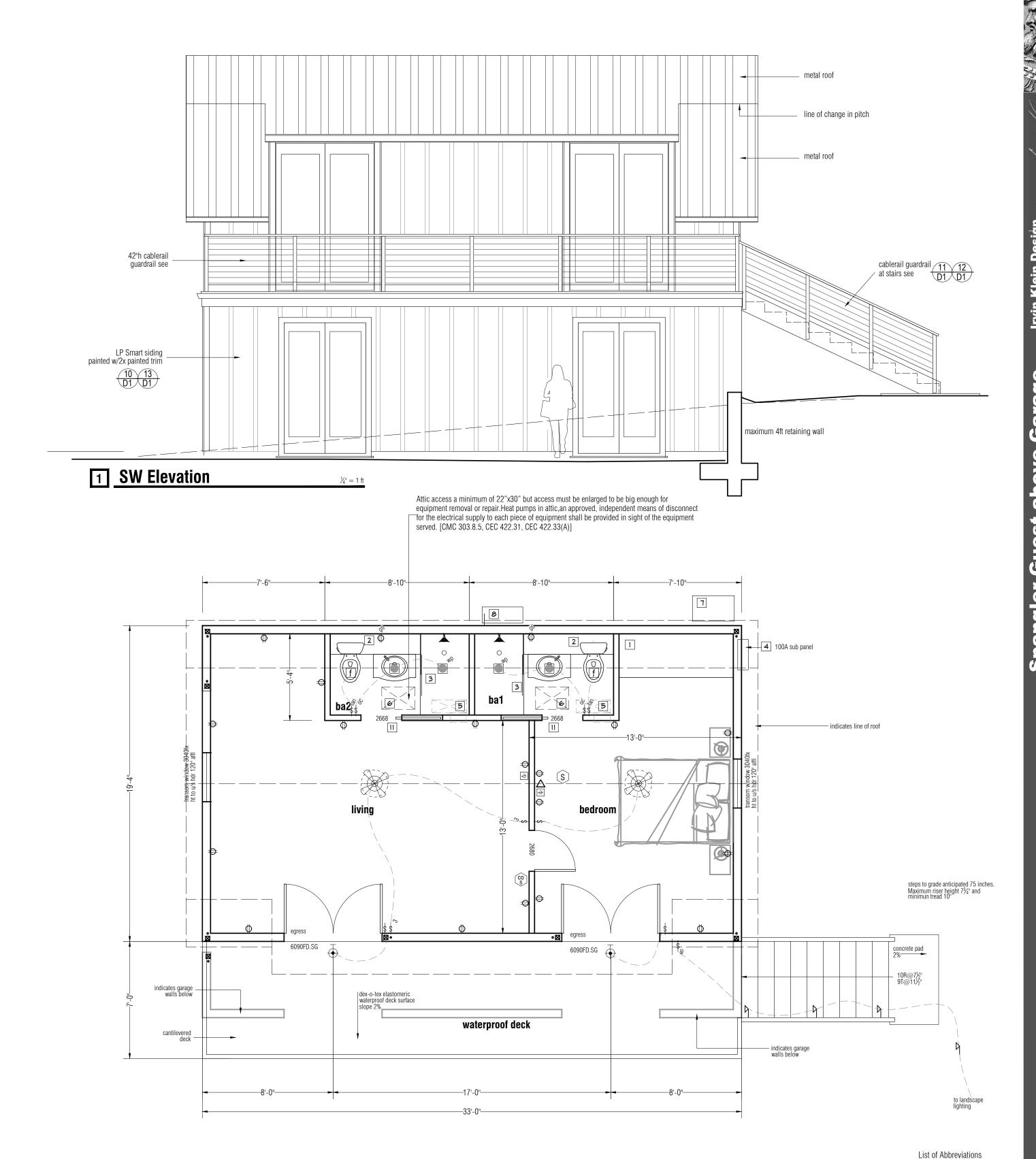


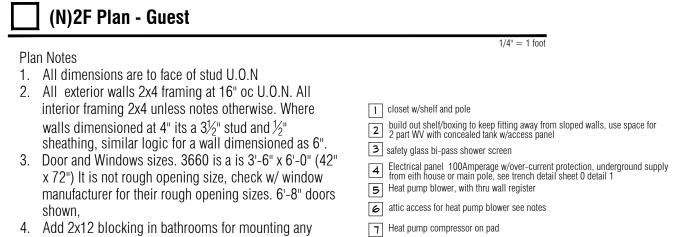


LED dark sky compliant path or step lights

directly to exterior, fans switched separately from light







accessories **8** gas on demand water heater 5. Discuss w/Owner electric towel bars or electric floor heating mat under tile.

6. Egress doors shall be open-able from inside a dwelling without the use of key or special knowledge or effort R311.2, see detail 1/D1 Bedroom Escape windows to comply with detail 2/D1

8. Nailing Schedule for general nailing, see sheet D1

abandon/cap redundant well head and remove concrete pad undercut bathroom doors to allow return air to heat pumps and air transfer to bathroom vent fans

N/C No change SC Solid core clsr Self closer device Weatherstripped o/a Overall FD French Door High Level affl above fin floor level underside brn barn door type DW Dishwasher Garbage disposer

CO Cased Opening

(E) Existing

(R) Replacement

Modify (E)

R&R Remove & Replace

Safety glass

(N) New

WS

H/L

Sldr



James Hardie Building Products

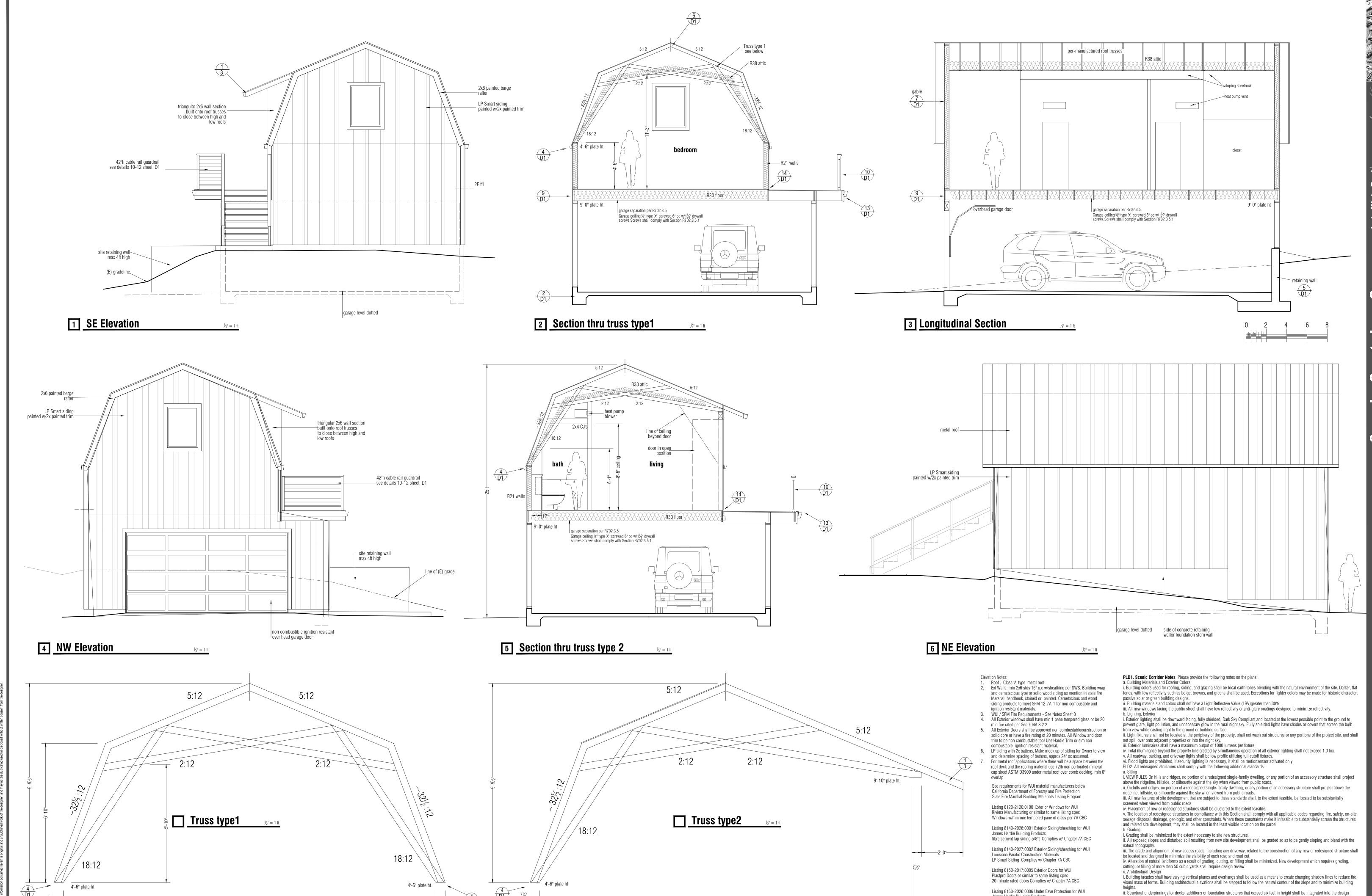
1/4" Complies w/ Chapter 7A CBC

CemSoffit fibre cement boards 3/16" and

aesthetic of the building.

iii. Parking areas shall be screened from view through siting, design, and landscaping.

iv. Dark and non-reflective driveway materials shall be used.
v. Impervious surfaces should be minimized to reduce runoff.



				Sł	HEAR W	ALL SCH	EDULE			
MARK	SHEAT STRU		FRAMING AT PLYWOOD EDGE	EDGE NAILING (EN) w/ 10d	FIELD NAILING (FN) w/ 10d	%" Ø A.B., 'URFP' OR 'FRFP'	SDS SCREW	'A34'	'A35', 'LTP4', OR 'LTP5'	'A35' WITH #6 x ½" SPAX SCREWS OR 'LS50' WITH #7 x ½" SPAX SCREWS
1	15/32" PLYWOOD	ONE SIDE	2x	6" o.c.	12" o.c.	4'-0" o.c.	12" o.c.	10" o.c.	16" o.c.	12" o.c.
2	15/ ₃₂ " PLYWOOD	ONE SIDE	2x	4" o.c.	12" o.c.	3'-2" o.c.	10" o.c.	7" o.c.	12" o.c.	9" o.c.
(3)	15/32" PLYWOOD	ONE SIDE	3x	3" o.c.	12" o.c.	2'-9" o.c.	8" o.c.	5" o.c.	8" o.c.	6" o.c.
4	15/32" PLYWOOD	ONE SIDE	3x	2" o.c.	12" o.c.	2'-0" o.c.	6" o.c.	4" o.c.	6" o.c.	4" o.c.
			HC	DLDOWN	N SCHE	DULE				

		7	117	741.		-51.	707	11924	311
				HOLD	OWN SC	HEDUL	E		
MARK	HOLDOWN HARDWARE		(N) CON	CRETE		(E) CO	NCRETE	MIN POST SIZE	
		ANCHOR	EMBED		FOOTING	ALL	EMBED	4x	6x
		BOLT	(L _{e_new})	(d _e)	(F)	THREAD	$(L_{e_existing})$	OPTION	OPTION
Α	DTT2Z	#//	*	2	7%	½" Ø	12"	2 - 2x4	2 - 2x6
В	HDU2	SSTB24	20 1/8"	-	12	5⁄8" Ø	10"	2 - 2x4	2 - 2x6
С	HDU4	SB5/8x24	18"	91	(*	5⁄8" Ø	12"	2 - 2x4	2 - 2x6
D	HDU5	SB5/8x24	18"	-	15	5⁄8" Ø	12½"	2 - 2x4	2 - 2x6
E	HDU8	PAB7		9"	13 ½"	5	1.5	4x4	4x6

				HOLD	OWN SC	HEDUL	E		
MARK	HOLDOWN HARDWARE		(N) CON	CRETE		(E) CONCRETE		MIN POST SIZE	
		ANCHOR	EMBED		FOOTING	ALL	EMBED	4x	6x
		BOLT	(L _{e_new})	(d _e)	(F)	THREAD	(L _{e_existing})	OPTION	OPTION
Α	DTT2Z	∌ /	\$20 \$20 \$20 \$20 \$20 \$20 \$20 \$20 \$20 \$20	2	72	½" Ø	12"	2 - 2x4	2 - 2x6
В	HDU2	SSTB24	20 %"	-	16	5⁄8" Ø	10"	2 - 2x4	2 - 2x6
С	HDU4	SB5/8x24	18"	*:	(+	5⁄8" Ø	12"	2 - 2x4	2 - 2x6
D	HDU5	SB5/8x24	18"	7-	В	5⁄8" Ø	12½"	2 - 2x4	2 - 2x6
Е	HDU8	PAB7	-	9"	13 ½"	<i>5</i> -	1.5	4x4	4x6



min (12)-16d over splice, typ

pre-manufactured

'A35' per schedule

header and single top plate

4'-0" min ea

end of

rough opening for 96"h door

P.E.N 10d@6" oc typ rf edge nailing

roof ply

per plan

gutter guard

dbl top plates

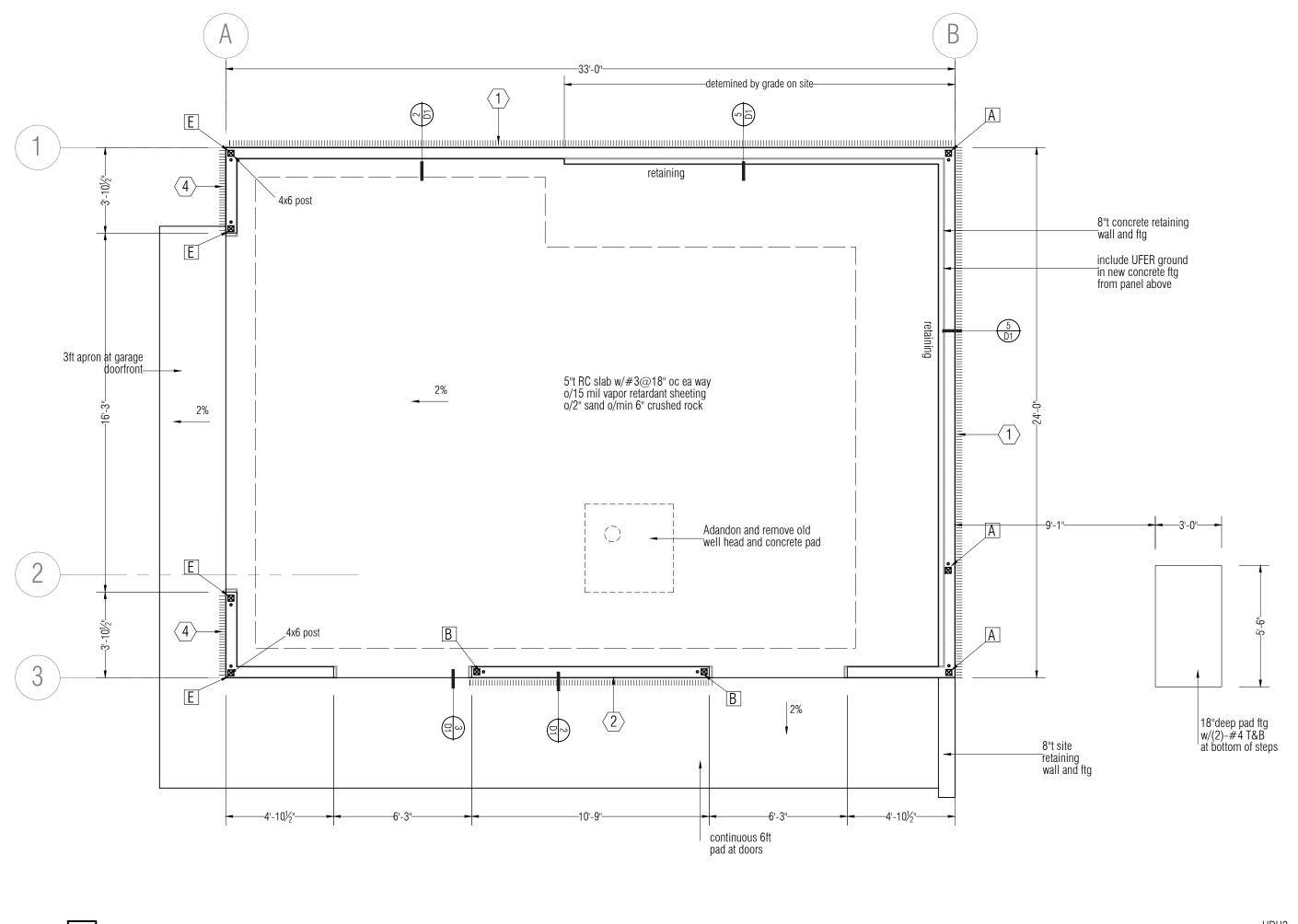
2x fascia

continuous top plate

as shown

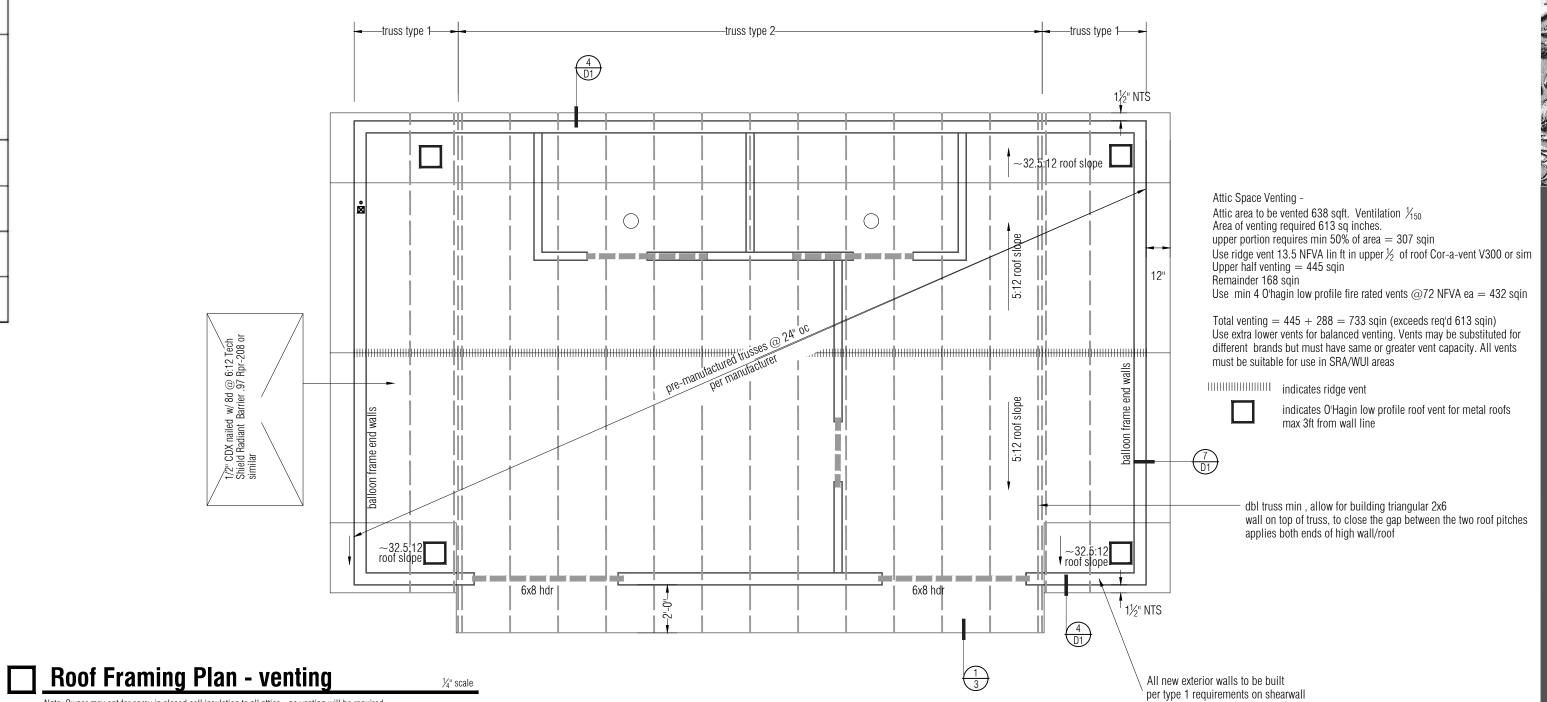
opening per plan

header per plan

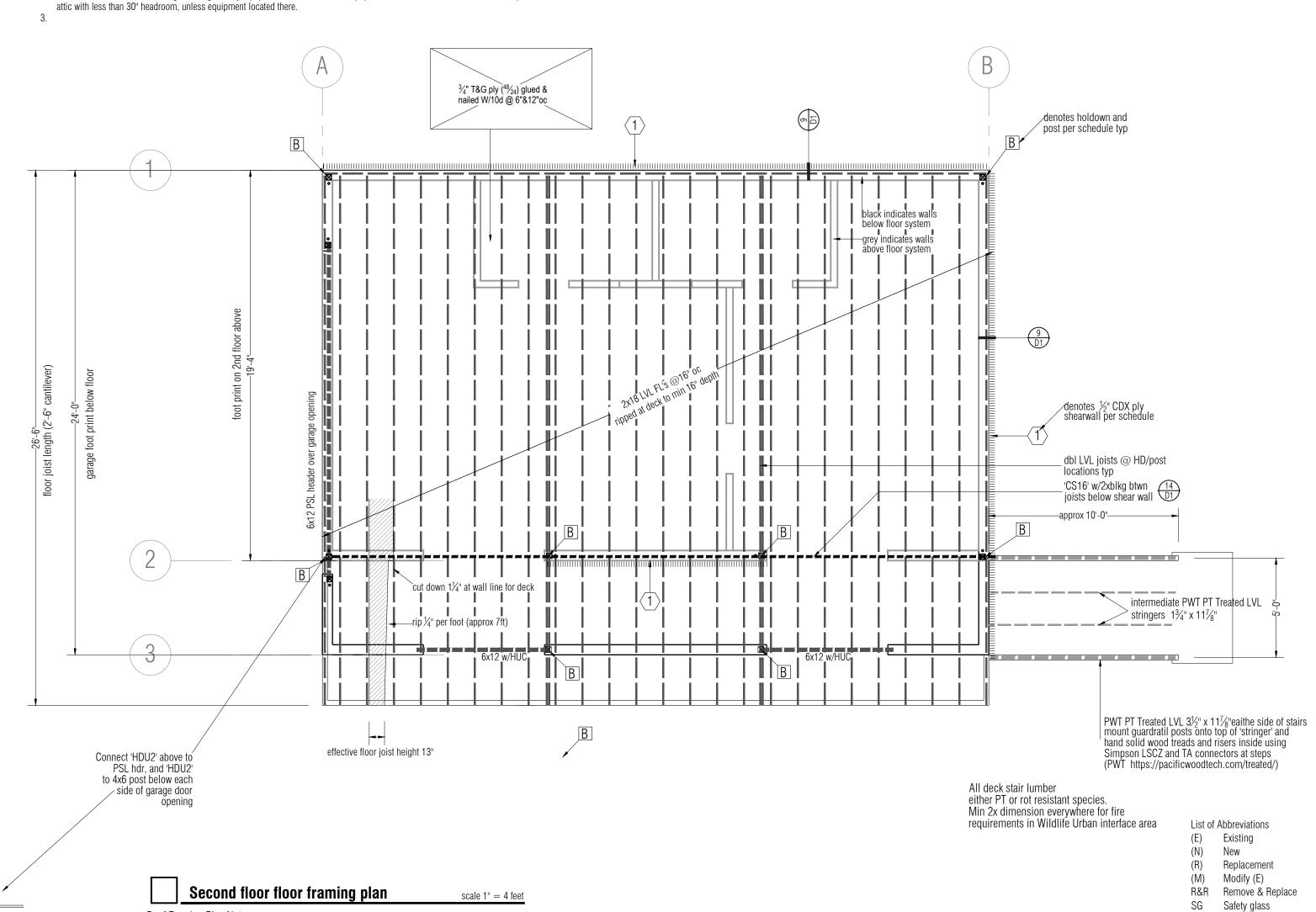




- Foundation Plan Notes 1. Unprotected wood min of 8" above finished grade. All foundation plates or sills and sleepers on concrete slab that are in direct contact with earth
- and sills that rest on concrete foundations shall be treated wood. 2. Anchor bolts 5/8" dia. min 7" embedment into concrete slab w/3"sq x 0.229" galv. steel plate washer. max 6ft oc. Min 2 per plate, and within 4-12"
- from ends. 2x min PT mud sill plate Per CRC Sec 403.1.6 3. Concrete strength min 2500psi CBC 1922.2.4 include fly ash in mix per CalGreen (reduced cement use by 20% or more)
- 4. Underground plumbing to be 'sleeved' where passes through footing, use 4" dia black PVC pipe for 3" waste or 6" for for 4" waste, annular voids to



schedule typical



Note: Owner may opt for spray in closed cell insulation to all attics - no venting will be required.

1. Use min 6x8 at all exterior and interior headers U.N.O. Interior headers in non load bearing walls do not require headers. Install 2-2x or 4x

2. Attic Access min 22x 30, but might be larger if any equipment located in attic. If equipment located in attic. Attic access not required for

Roof Framing Plan Notes

flr frmg

recess nut and

garage door opening

_HDU8

washer in hdr

garage hdr

post at ends of all headers U.N.O.

Roof Framing Plan Notes Use min 6x8 at all exterior and interior headers U.N.O. Interior headers in non load bearing walls do not require headers.
 Install 2-2x or 4x post at ends of all headers U.N.O. Header sizes perR502.5(1) SG Safety glass N/C No change SC Solid core clsr Self closer device WS Weatherstripped o/a Overall FD French Door H/L High Level Sldr Slider

affl above fin floor level u/s underside brn barn door type DW Dishwasher GD Garbage disposer



