

## ADDITIONAL WUI NOTES

**Open Roof Eaves:** The exposed roof deck on the underside of unenclosed roof eaves shall be protected by ignition-resistant or noncombustible material, consist of 5/8" Type X gypsum sheathing applied behind an exterior covering on the underside of the roof deck, or the exterior portion of a 1-hour assembly on the exposed underside. Hardie soffits or similar.

The following materials do not require protection:

- 1. Solid wood rafter tails having a minimum nominal dimension of 2 inches.
- 2. Solid wood blocking between rafter tails having a minimum nominal dimension of 2 inches.
- 3. Gable end overhangs and roof assembly projections beyond an exterior wall other than at the lower end of the rafter tails.
- 4. Fascia and other architectural trim members.

Enclosed roof eaves and roof soffit's. The exposed underside of enclosed roof eaves having either a board-in wood eave soffit with a horizontal underside, or sloping rafter tails with an exterior covering applied to the underside of the rafter tails, shall be protected by ignition-resistant or noncombustible material, consist of 5/8" Type X gypsum sheathing applied behind an exterior covering on the underside of the rafter tails or soffit, the exterior portion of a 1-hour assembly applied to the underside of the rafter tails or soffit, or meet the performance requirements set forth in *SPM Standard 12-7A.3*, Hardie soffit or similar.

Exterior porch ceilings. The exposed underside of exterior porch ceilings shall be protected by ignition-resistant or noncombustible material, consist of 5/8" Type X gypsum sheathing applied on the underside of the ceiling, the exterior portion of a 1-hour assembly applied to the underside of the ceiling. Hardie soffit or similar, or meet the performance requirements set forth in *SPM Standard 12-7A.3*, Hardie soffit and opening protection. Exterior walls will be approved noncombustible, ignition-resistant material, heavy timber, log wall construction, meet *SPM Standard 12-7A-1*, include one layer of 5/8" Type X gypsum sheathing applied behind the exterior covering on the exterior of the framing, or the exterior portion of a 1-hour assembly. Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2" nominal solid wood blocking between rafters at all roof overhangs or eave enclosures.

Exterior wall vent openings shall be protected by corrosion-resistant, noncombustible wire mesh with openings of 1/8" to 1/4".

Exterior glazing and glazing openings in exterior doors shall have a minimum of one tempered pane, or have a fire resistive rating of 20 minutes, or of glass block.

Exterior doors shall be of approved noncombustible construction, or solid core wood housing styles and ribs not less than 1 3/8" thick with interior field panel thickness not less than 1/2" thick, or have a minimum 20 minute fire resistive rating.

1. Remove and clear away all flammable vegetation or combustible growth for 30' from each side of building.
2. Remove any tree limbs within 10 feet of chimney outlet.
3. Eliminate any dead wood from trees overhanging building. Maintain the roof to be free of leaves, needles or dead vegetation.
4. Inspection and written approval by the Fire Marshall shall be obtained prior to final of the building permit.

1. Soil disturbance and erosion are minimized by the following:
  1. Natural drainage patterns have been evaluated and erosion control will be implemented during construction. Post construction existing drainage patterns are to be reinstated.
  2. Cut and fill areas are to be limited to foundations only
  3. Underground construction activities are coordinated to utilize the same trench, minimize the amount of time the disturbed soil is exposed and the soil is replaced using accepted compaction methods.
  4. Displaced topsoil is stockpiled for reuse in designated area and covered or protected from erosion.

Vegetation adjacent to buildings (30%) to be managed so that there is no continuity between ground levels and tree crowns.

- Tree crowns to be separated by at least 10 feet. Raise all tree crowns to at least 10 feet above ground, thin out crowns by 25% to reduce foliage. Remove all dead branches, large limbs and limbs of dead falling limbs and loose bark. Remove all debris.
- When thinning shrubs in place, first remove dead, sick or stressed shrubs, then highly flammable shrubs, i.e. shrubs that are twiggy, have small woody leaves, or contain volatile oils (aromatic). Shrub cover should not exceed 30% defensible area. Maximum dead to live ratio is 20%-80%. Limbing of shrubs no greater than 14' of weight. Remove all vines and papery bark, and other suspended debris, remove or mow undergrowth to 3", and remove all debris.
- Chipped wood and mulch can provide an excellent thermal barrier which will prevent loss of moisture in ground fuels. Shrubbery or heavy bark is prohibited.
- Remove existing landscaping and trees that are creating landscape and trees are creating fuel fuel. Wait till summer so that what is fully recovered before replacing existing landscaping (reinstating C) in preparation where destroyed.



Construction site is on an existing lot that burned in the Fire. The new guest is above a new garage that is in a different position to the guest building that burned. The new location is on a slight slope and the new building follows the existing drainage patterns. The existing drainage patterns are to be maintained. An existing driveway is already graded to the new garage as it was previously a parking area. No new cut and fill areas. Where existing vegetation is removed during construction and not being replaced with permanent landscaping, area to be seeded with an industry standard erosion control seed mix at the rate of 50lbs per acre. erosion matting, straw or hydro-mulching shall be used to stabilize seed.

1. Surface drainage ditches: slope finished gradeway from (N) Addition 5% for 10ft at grade/earth, and 2% for 10ft impervious surfaces. Follow (E) general site drainage which is away from building on all sides
2. Roof gutter drop collectors if used, to have gutter guard and to be piped to discharge into landscape areas min 5 feet from building. Concentrated flows energy to be dissipated by rocks
3. Earth disturbed at construction to be collected and covered during construction for reuse afterwards as near as possible to where it was collected.
4. The Owner or Contractor shall ensure that any soil, sediment, debris or other pollutants disturbed by the new construction shall not enter any existing storm water or drainage system Measures as required, to include broadcasting straw on disturbed areas, and placing weighted straw wattles along existing contours. All construction waste, excess soil, and water to be contained and discharged at an appropriate approved County Facility.

Reconstructed Guest House designed in Fire.

See County handbook DR Waiver Requirements for SLU

Section 5 Standards for Redeveloped Structures

1. Building Materials and Colors, see sheet 2 Elevations for information
2. Lighting Exterior, shielded dark sky compliant, see electrical/lighting plan sheet
3. Landscaping - Screening trees, and re-vegetation. See Landscape and Prescriptive Landscape notes this sheet(Left hand side sheet)

Section 6 Standards for Redesigned Structures

Siting - Similar but new location

1. Grading - no new grading as far as previous driveway/parking area
2. Architectural Design
  - a. Variation in facades to created shaded overhangs under overhangs
  - b. Parking area screened in garage, and behind existing 80' stucco wall at property line
  - c. Drive existing, concrete, covered as non reflective surface
  - d. Minimal areas of impervious surfaces (paths, pads, etc)

1. Governing Codes: All Construction shall comply with California Residential Code 2019 Edition, California Administrative Code 2019, Edition, California Mechanical Code 2019 Edition, California Plumbing Code 2019 Edition, California Fire Code 2019 Edition, California Energy Code 2019 Edition, California Green Building Standards Code 2019 Edition, and all County of Sonoma Ordinances that are current, and relate to the 2019 California Title 24.
2. The Contractor to verify all dimensions on site prior to starting that phase of work. All discrepancies to be discussed and resolved with the Designer prior to commencement of work. Verify all dimensions where work involves Framing for windows, doors or cabinets
3. All framing dimensions are to face of stud unless noted otherwise, DO NOT SCALE DRAWINGS!

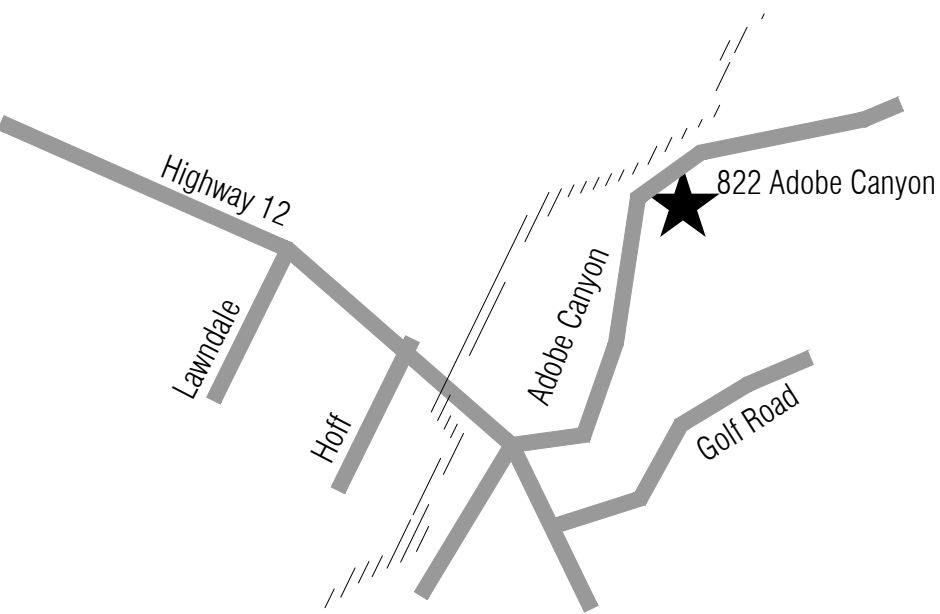
Structural Engineering      Design Drafting / Irvin Klein  
Simplengi      676 Speers Road  
David Yadegar PE      Santa Rosa Ca. 95409  
david@simplengi.com      † 707 695 0711  
† 415 754 3644

Rebuild Guest unit destroyed in Fire.  
Guest unit in new location over new garage in NE corner of lot.

Address	822 Adobe Road Kernwood Ca 95452
Owners	Blair Spangler
APN	051-060-019
Zoning	DA B6 20 VRC 100/50 SR
Lot size	1.56 ac
Setbacks	F-30ft (55ft CL road) S-10ft, R-20ft
Lot	Well and Septic
Lot Coverage	Prev 5%, Proposed 5%, Allowable 20%
Occupancy Type	R3/U
Building Type	VB
<b>Pre Fire Areas</b>	
Guest	366 sqft
Guest Deck	138 sqft
<b>New Areas</b>	
(N) Guest	638 sqft (272 sqft addition)
(N) Garage	792 sqft
(N) Deck	231 sqft (93 sqft addition)
Height	25ft
Lot Coverage	3201(E)house)+792(N)garage)=3993/67953 = 6%
Sprinklers	Yes per NFPA 13D
SRA/WUI	Yes
Deferred Submittals	Trusses and Sprinklers

on the Title Sheet of the plans the following statement: "Compliance with the  
entation requirements of the 2019 Energy Efficiency Standards is necessary for this  
Registered, signed, and dated copies of the appropriate CF1R, CF2R, and CF3R  
shall be made available at necessary intervals for Building Inspector review. Final  
ated forms will be available for the building owner."

0.	Covers sheet, Site Plan, and Project Information
1.	Layout and MEP Plans
2.	Elevations
3.	Foundation and Framing Plan2
D1	Details
E1	T24 sheets




  
 6.16.2022
   
 0 cover sheet, site plan
   
 project information
   
 Spangler Guest above Garage
   
 Fire rebuild
   
 822 Adobe Canyon Road Kenwood Ca. 95452
   
 Irvin Klein Design
   
 707 695 0711
   
 irvin@sonic.net
   
 designer
   
 signature
   







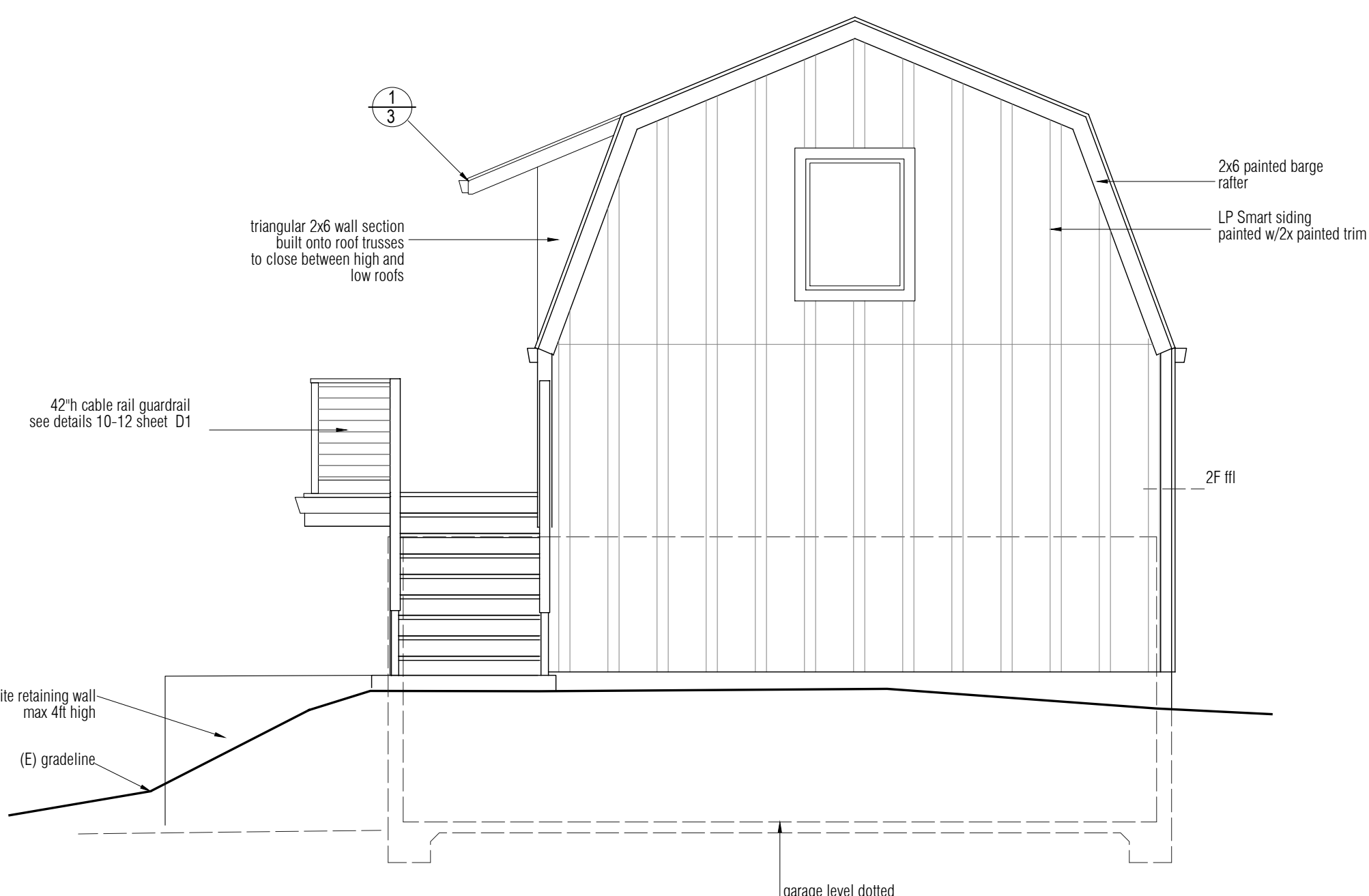

Irvin Klein Design  
707 695 0711  
irvin@sonic.net

Spangler Guest above Garage  
Fire rebuild  
822 Adobe Canyon Road Kenwood Ca. 95452

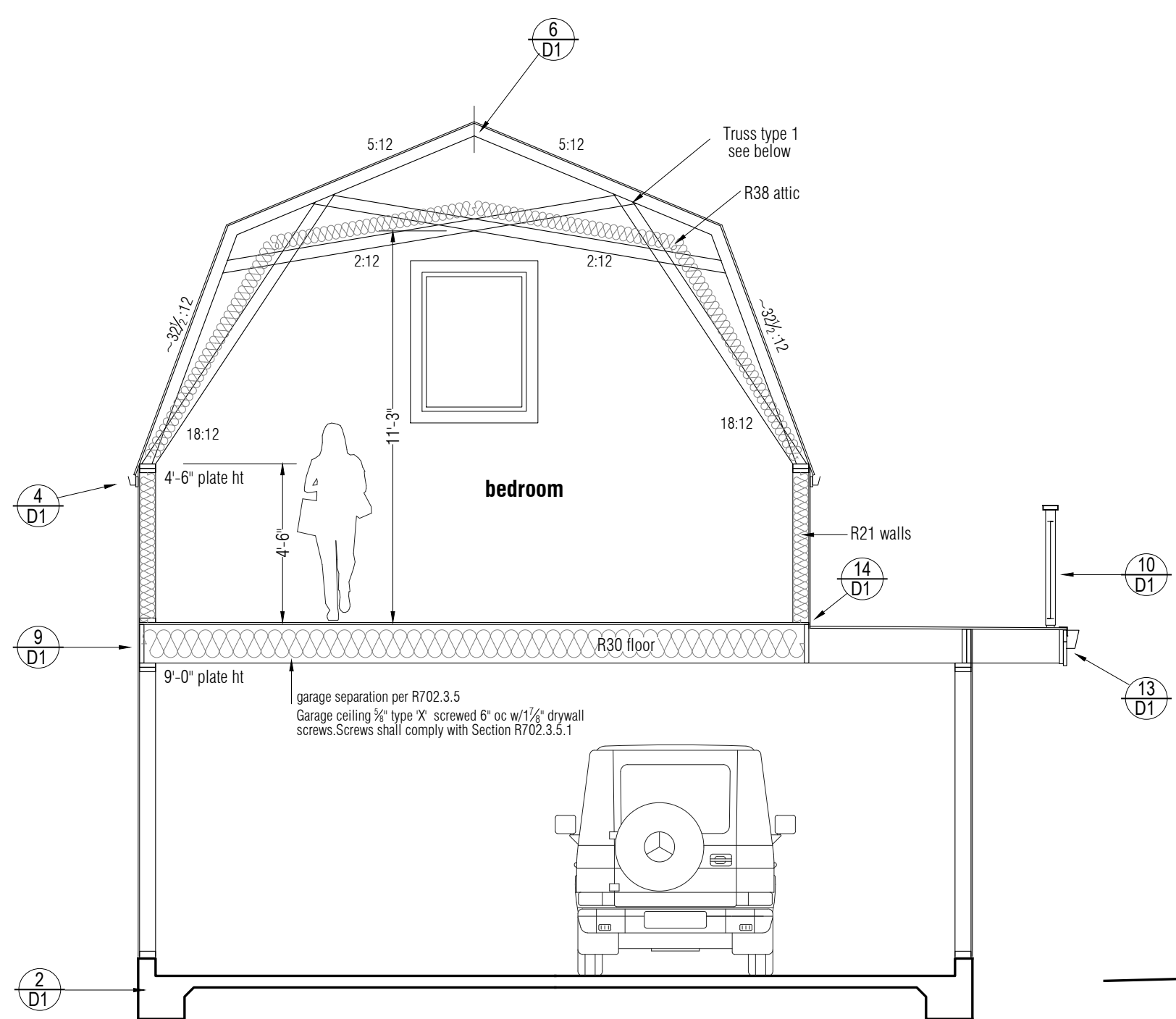
elevations

2  
6.16.2020

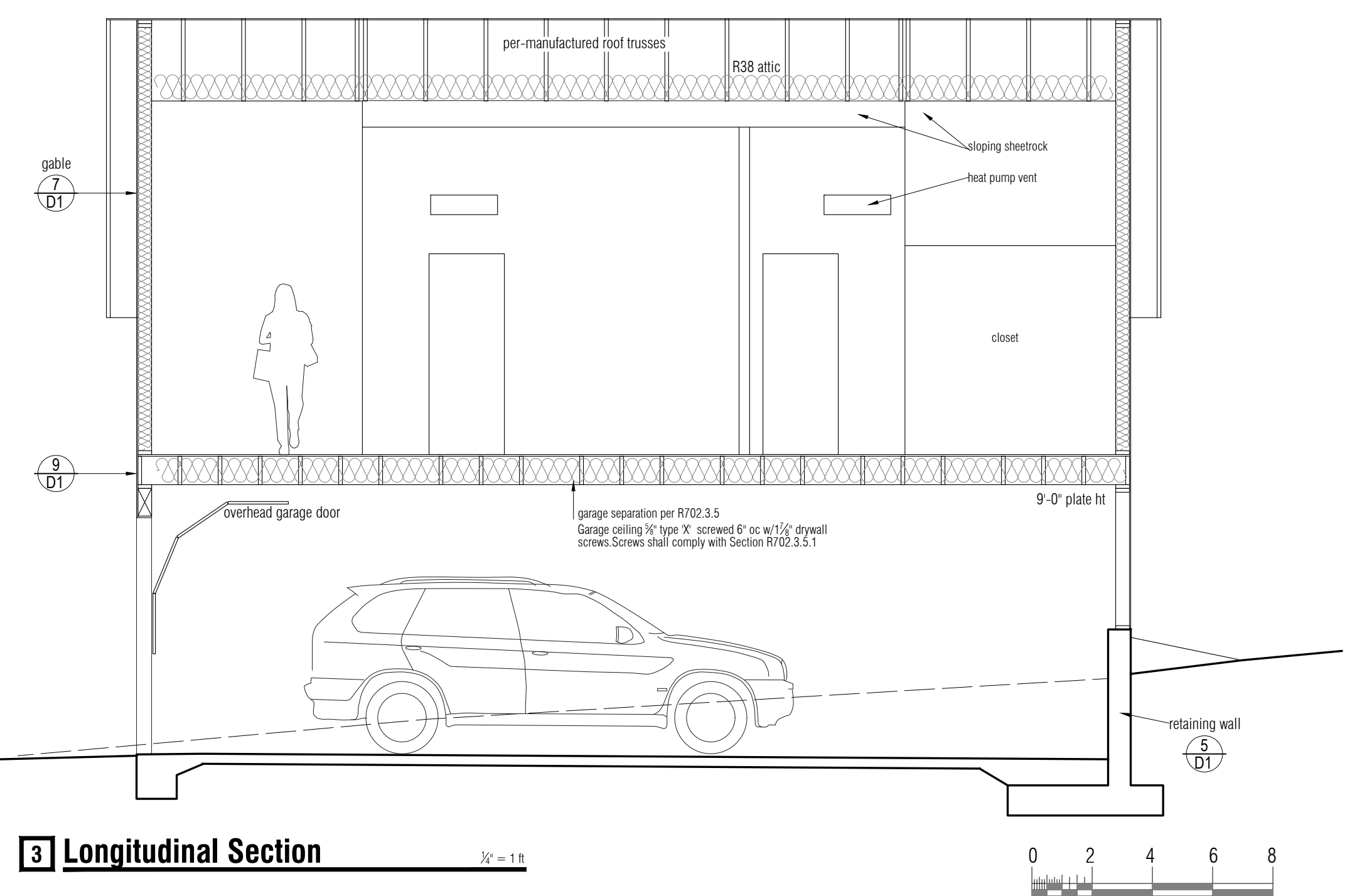
1 SE Elevation



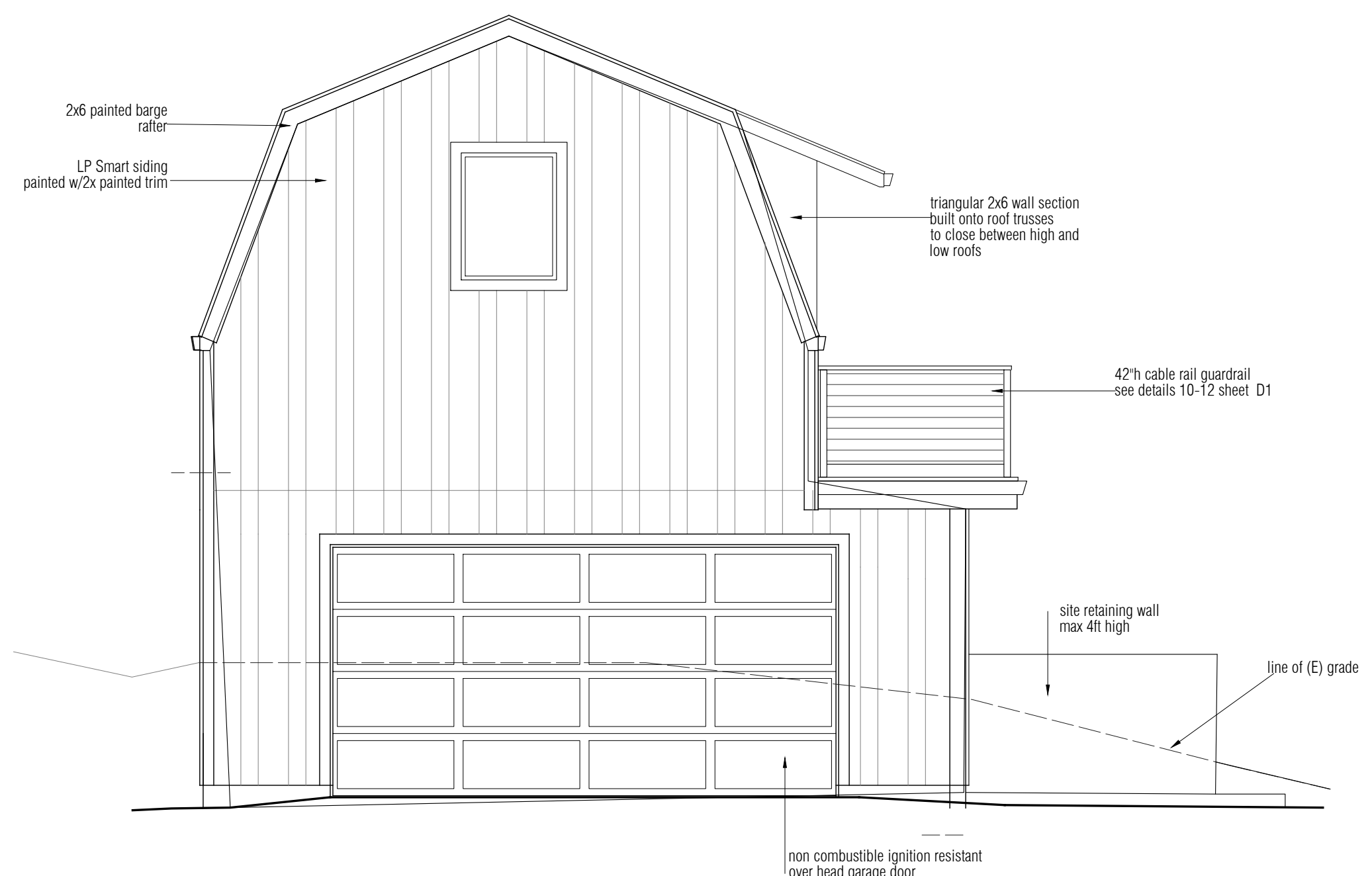
2 Section thru truss type1



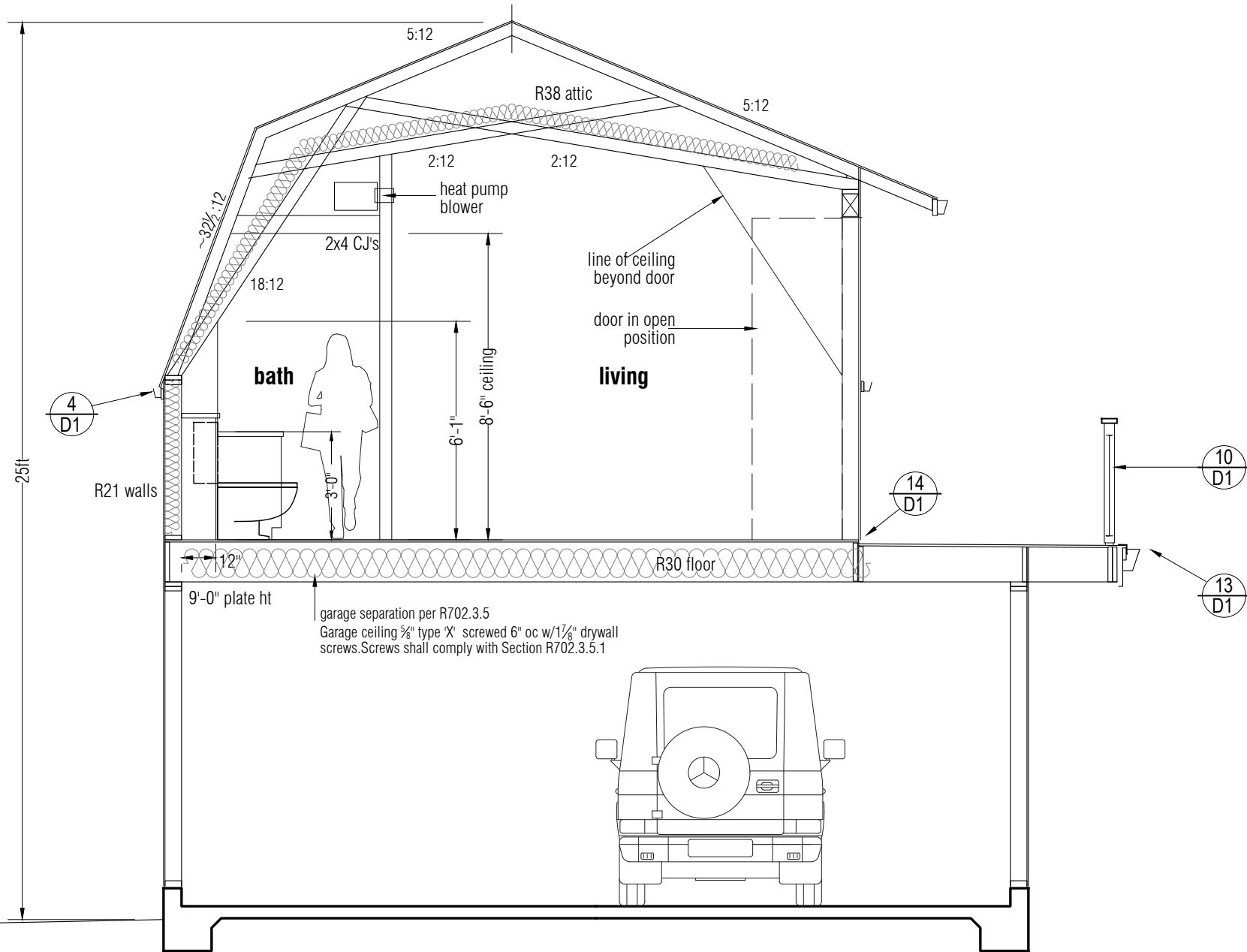
3 Longitudinal Section



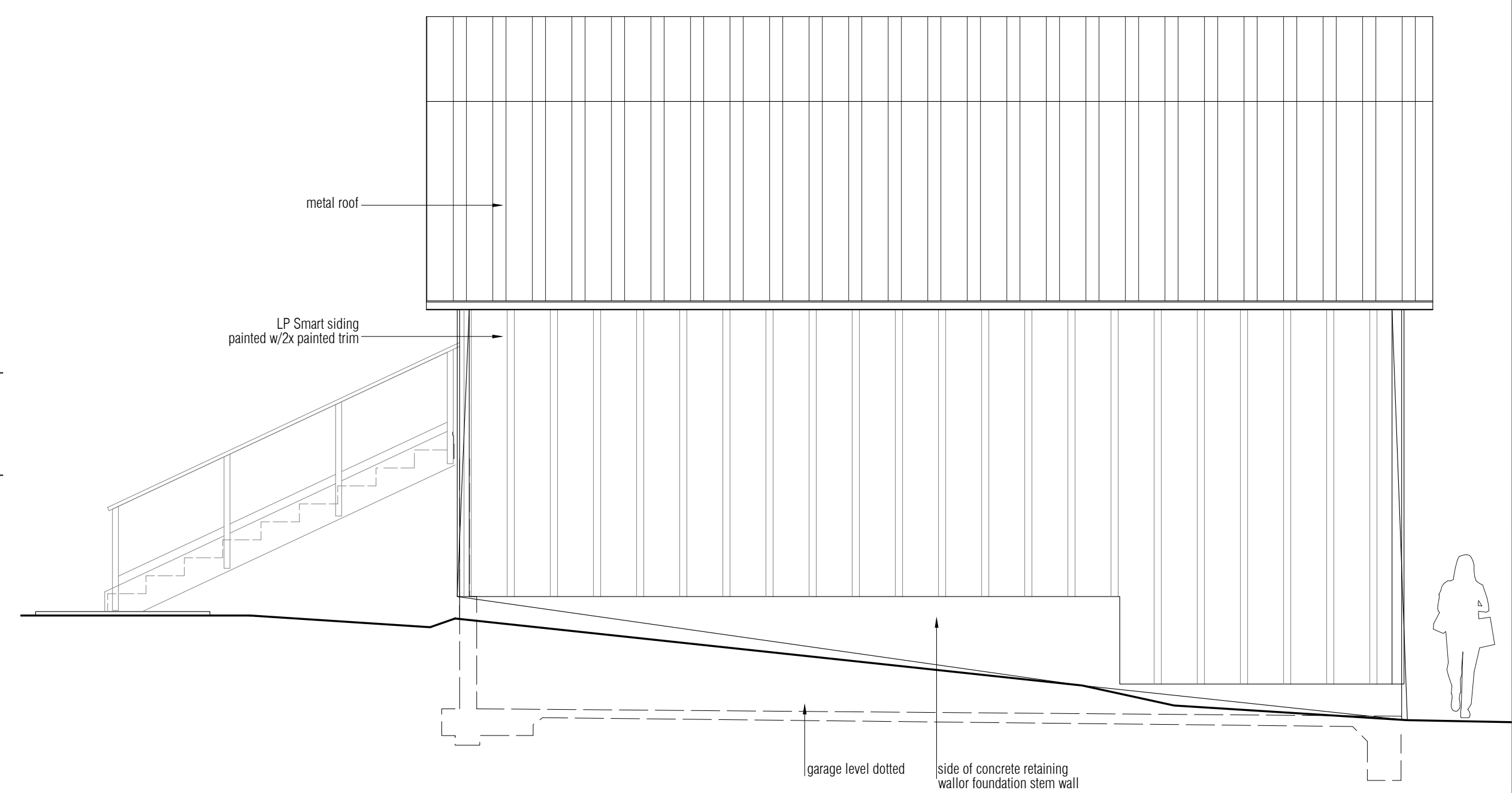
4 NW Elevation



5 Section thru truss type 2



6 NE Elevation



Truss type1

Truss type2

Elevation Notes:  
1. Roof - Class 'A' type metal roof.  
2. Ext Walls: min 2x6 studs 16" o.c w/sheathing per SWS. Building wrap and cementitious type or solid wood siding as mention in state fire Marshall handbook, stained or painted. Cementitious and wood siding products to meet SPM 12-7A-1 for non combustible and ignition resistant materials.  
3. WUI / SPM Fire Requirements - See Notes Sheet D  
4. All Exterior windows shall have min 1 pane tempered glass or be 20 min fire rated per Sec 7044.3.2.2  
5. All Exterior Doors shall be approved non combustible construction or solid core or have a fire rating of 20 minutes. All Window and door trim to be non combustible too! Use Hardie Trim or sim non combustible, ignition resistant material.  
6. LP siding with 2x battens. Make mock up of siding for Owner to view and determine spacing of battens, approx 24" o.c assumed. For metal roof applications where there will be a space between the roof deck and the roofing material use 72lb non perforated mineral cap sheet ASTM D3909 under metal roof over comb decking, min 6" overlap.  
See requirements for WUI material manufacturers below  
California Department of Forestry and Fire Protection  
State Fire Marshal Building Materials Listing Program  
Listing 8120-2120-0100 Exterior Windows for WUI  
Riviera Manufacturing or similar to same listing spec  
Windows w/min one tempered pane of glass per 7A CBC  
Listing 8140-2026-0001 Exterior Siding/sheathing for WUI  
James Hardie Building Products  
fibre cement lap siding S/P1 Complies w/ Chapter 7A CBC  
Listing 8140-2027-0002 Exterior Siding/sheathing for WUI  
Louisiana Pacific Construction Materials  
LP Smart Siding Complies w/ Chapter 7A CBC  
Listing 8150-2017-0005 Exterior Doors for WUI  
Plastro Doors or similar to same listing spec  
20 minute rated doors Complies w/ Chapter 7A CBC  
Listing 8160-2026-0006 Under Eave Protection for WUI  
James Hardie Building Products  
CamSoffit fibre cement boards 3/16" and 1/4" Complies w/ Chapter 7A CBC

PLD1. Scenic Corridor Notes Please provide the following notes on the plans:  
a. Building Materials and Exterior Colors  
i. Building colors used for roofing, siding, and glazing shall be local earth tones blending with the natural environment of the site. Darker, flat tones, with low reflectivity such as beige, browns, and greens shall be used. Exceptions for lighter colors may be made for historic character, passive solar or green building designs.  
ii. Building materials and colors shall not have a Light Reflective Value (LRV) greater than 30%.  
iii. All new windows facing the public street shall have low reflectivity or anti-glare coatings designed to minimize reflectivity.  
b. Lighting, Exterior  
i. Exterior lighting shall be downward facing, fully shielded, Dark Sky Compliant and located at the lowest possible point to the ground to prevent glare, light pollution, and unnecessary glow in the rural night sky. Fully shielded lights have shades or covers that screen the bulb from view while casting light to the ground or building surface.  
ii. Light fixtures shall not be located at the periphery of the property, shall not wash out structures or any portions of the project site, and shall not spill over onto adjacent properties or into the night sky.  
iii. Exterior luminaires shall have a maximum output of 1000 lumens per fixture.  
iv. Total illuminance beyond the property line created by simultaneous operation of all exterior lighting shall not exceed 1.0 lux.  
v. All roadway, parking, and driveway lights shall be low profile utilizing full cutoff fixtures.  
vi. Flood lights are prohibited. If security lighting is necessary, it shall be motion sensor activated only.  
PLD2. All redesigned structures shall comply with the following additional standards.  
a. Siting  
i. VIEW RULES On hills and ridges, no portion of a redesigned single-family dwelling, or any portion of an accessory structure shall project above the ridge line, hillside, or silhouette against the sky when viewed from public roads.  
ii. On hills and ridges, no portion of a redesigned single-family dwelling, or any portion of an accessory structure shall project above the ridge line, hillside, or silhouette against the sky when viewed from public roads.  
iii. All new features of site development that are subject to these standards shall, to the extent feasible, be located to be substantially screened when viewed from public roads.  
iv. Placement of new or redesigned structures shall be clustered to the extent feasible.  
v. The location of redesigned structures in compliance with this Section shall comply with all applicable codes regarding fire, safety, on-site sewage disposal, drainage, geologic, and other constraints. Where these constraints make it infeasible to substantially screen the structures and related site development, they shall be located in the least visible location on the parcel.  
b. Grading  
i. Grading shall be minimized to the extent necessary to site new structures.  
ii. All exposed slopes and disturbed soil resulting from new site development shall be graded so as to be gently sloping and blend with the natural topography.  
iii. The grade and alignment of new access roads, including any driveway, related to the construction of any new or redesigned structure shall be located and designed to minimize the visibility of each road and road cut.  
iv. Alteration of natural landforms as a result of grading, cutting, or filling shall be minimized. New development which requires grading, cutting, or filling of more than 50 cubic yards shall require design review.  
c. Architectural Design  
i. Building locales shall have varying vertical planes and overhangs shall be used as a means to create changing shadow lines to reduce the visual mass of forms. Building architectural elevations shall be stepped to follow the natural contour of the slope and to minimize building heights.  
ii. Structural underpinnings for decks, additions or foundation structures that exceed six feet in height shall be integrated into the design aesthetic of the building.  
iii. Parking areas shall be screened from view through siting, design, and landscaping.  
iv. Dark and non-reflective driveway materials shall be used.  
v. Impervious surfaces should be minimized to reduce runoff.

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HOLDOWN SCHEDULE									
MARK	HOLDOWN HARDWARE	(N) CONCRETE			(E) CONCRETE		MIN POST SIZE		
		ANCHOR BOLT	EMBED		FOOTING (F)	ALL THREAD	EMBED ( $L_{e\ existing}$ )	4x OPTION	6x OPTION
			( $L_{e\ new}$ )	( $d_e$ )					
A	DTT2Z	-	-	-	-	$\frac{1}{2}" \varnothing$	12"	2 - 2x4	2 - 2x6
B	HDU2	SSTB24	20 $\frac{5}{8}"$	-	-	$\frac{5}{8}" \varnothing$	10"	2 - 2x4	2 - 2x6
C	HDU4	SB $\frac{5}{8}"$ x24	18"	-	-	$\frac{5}{8}" \varnothing$	12"	2 - 2x4	2 - 2x6
D	HDU5	SB $\frac{3}{4}"$ x24	18"	-	-	$\frac{3}{8}" \varnothing$	12 $\frac{1}{2}"$	2 - 2x4	2 - 2x6
E	HDU8	PAB7	-	9"	13 $\frac{1}{2}"$	-	-	4x4	4x6



**Roof Framing Plan Notes**

1. Use min 6x8 at all exterior and interior headers U.N.O. Interior headers in non load bearing walls do not require headers. Install 2-2x or 4x post at ends of all headers U.N.O.
2. Attic Access min 2x30, but might be larger if any equipment located in attic. If equipment located in attic, Attic access not required for attic with less than 30° headroom, unless equipment located there.
- 3.



**Foundation Plate Notes**

1. Unprotected wood min of 8" above finished grade. All foundation plates or sills and sleepers on concrete slab that are in direct contact with earth and sills that rest on concrete foundations shall be treated wood.
2. Anchor bolts 5/8" dia. min 7" embedment into concrete slab w/3"x3"x 0.229" galv. steel plate washer, max 6ft c/c. Min 2 per plate, and within 4'-12" from ends. 2x12 min PT500S (Per CRC Sec 403.1.6)
3. Concrete strength min 2500psi (CIBC 1992.2.4 include fly ash in mix per CalGreen (reduced cement use by 20% or more)
4. Underground plumbing to be "sleeved" where passes through footing, use 4" dia black PVC pipe for 3" waste or 6" for 4" waste, annular voids to be filled



Root Framing Plan Notes  
1. Use min 6x8 at all exterior and interior headers U.N.O. Interior headers in non load bearing walls do not require headers.  
2. Install 2-2x or 4x post at ends of all headers U.N.O. Header sizes per R502.5(1)



- List of Abbreviations
- |       |                       |
|-------|-----------------------|
| (E)   | Existing              |
| (N)   | New                   |
| (R)   | Replacement           |
| (M)   | Modify (E)            |
| R&R   | Remove & Replace      |
| SG    | Safety Glass          |
| N/C   | No change             |
| SC    | Solid core            |
| cisr  | Self closer device    |
| WS    | Weatherstripped       |
| o/a   | Overall               |
| F/D   | French Door           |
| H/L   | High Level            |
| Slidr | Slider                |
| affl  | above fin floor level |
| u/s   | underside             |
| brn   | barn door type        |
| DW    | Dishwasher            |
| GD    | Garbage disposer      |
| CO    | Cased Opening         |



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